

# CROSSROADS INFINITI

5730 & 5740 MARKET STREET  
WILMINGTON, NORTH CAROLINA

## DESIGN DOCUMENTS

FEBRUARY 2020

FOR

CROSSROADS HOLDINGS, LLC

1730 GRAHAM AVE  
HENDERSON, NC 27536

### NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTRACTOR SHALL CONTACT AT&T PRIOR TO ANY DEMOLITION TO ALLOW FOR AT&T TO DISCONNECT COMMUNICATIONS CABLES COMING INTO THE SITE.

### CONTACT THESE UTILITIES

CITY OF WILMINGTON PLANNING & DEVELOPMENT  
ATTN: BRIAN CHAMBERS, PLANNER  
PH: 910-342-2782

ATTN: ZONING INSPECTIONS  
PH: 910-254-0900

PIEDMONT NATURAL GAS  
ATTN: CATHY PLEASANT  
PH: 910-251-2827

EMERGENCY DIAL 911  
POLICE - FIRE - RESCUE

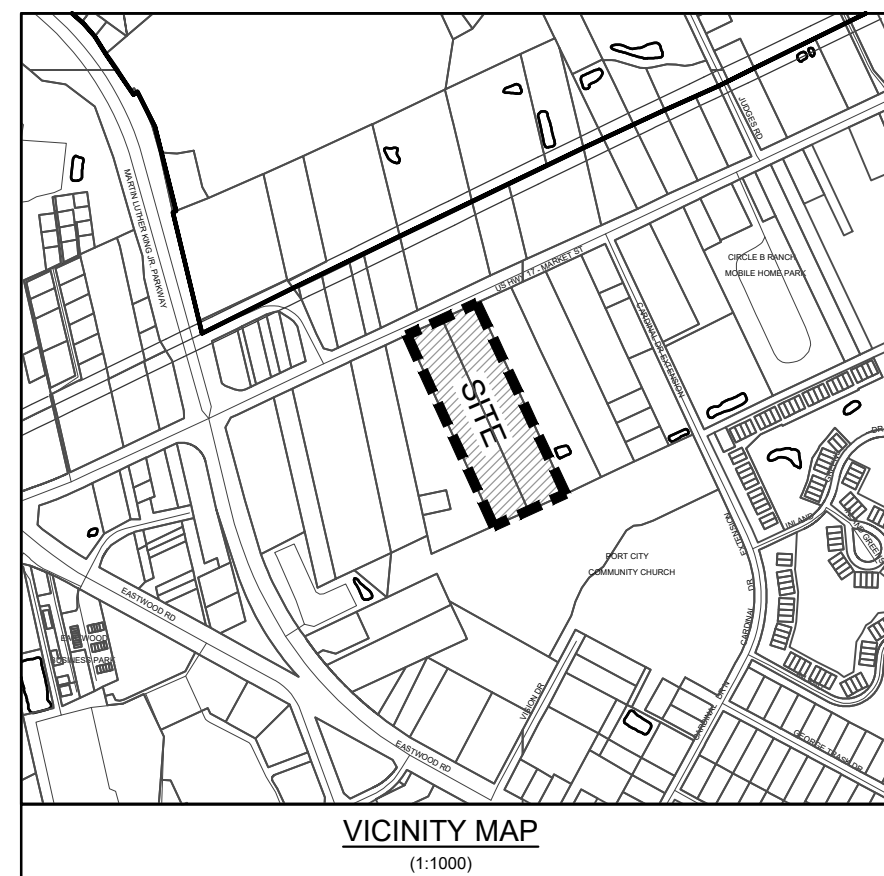
CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)  
ENGINEERING/INSPECTIONS  
PH: 910-332-6560

OPERATIONS/MAINTENANCE  
PH: 910-322-6550

DUKE ENERGY  
DISTRIBUTION CONSTRUCTION SERVICE  
PH: 910-256-7223  
DEP CSC PH: 1-800-452-2777

AT&T/BELL SOUTH  
ATTN: JAMES BATSON, ENGINEERING  
PH: 910-341-1621

TIME WARNER CABLE  
PH: 910-763-4638



### CROSSROADS INFINITI

5730 & 5740 MARKET STREET  
WILMINGTON, NORTH CAROLINA

PROJECT # 18458.PE

FEBRUARY 2020

### SHEET INDEX

SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0-1.1	GENERAL & NPDES NOTES
C-2.0 - C-2.2	SITE PLAN SHEETS
C-3.0	SITE INVENTORY & DEMO PLAN
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### APPROVALS:

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

### Approved Construction Plan

Name	Date
Planning _____	
Traffic _____	
Fire _____	

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

### CONSULTANTS:

#### APPLICANT:

CROSSROADS HOLDINGS, LLC.  
1730 GRAHAM AVE  
HENDERSON, NC 27536

#### ENGINEER /

#### LANDSCAPE ARCHITECT:

PARAMOUNTE ENGINEERING, INC.  
122 CINEMA DRIVE  
WILMINGTON, NORTH CAROLINA 28403  
ATTN: J. BRANCH SMITH, P.E.  
MIKE NICHOLS, RLA  
PHONE: (910) 791-6707

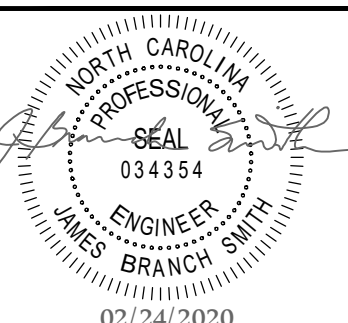
#### SURVEYOR:

CHRIS GAGNE, P.L.S.  
PARAMOUNTE ENGINEERING, INC.  
122 CINEMA DRIVE  
WILMINGTON, NORTH CAROLINA 28403

### PREPARED BY:

**PARAMOUNTE**  
ENGINEERING, INC.

122 Cinema Drive Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

COORDINATION NOTES:

1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY, CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA), AND THE STATE OF NORTH CAROLINA.
3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THIS PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
4. ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS BY OTHERS FOR ALL BUILDING DIMENSIONS AND DETAILS.

GENERAL NOTES:

1. BOUNDARY AND EXISTING CONDITIONS SURVEY COMPLETED BY PARAMOUNTE ENGINEERING, INC., AND TREE INVENTORY AND TOPOGRAPHIC SURVEY COMPLETED BY PARAMOUNTE ENGINEERING, INC. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER AND ENGINEER.
2. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC.
3. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
4. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE USDOT.
5. ALL MATERIAL, CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
6. ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
7. CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 811 AND ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.
8. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
9. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
10. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
11. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
12. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
13. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
14. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
15. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
16. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER, THE CITY OF WILMINGTON, NEW HANOVER COUNTY, OR CFPUA, RESPECTIVELY.
17. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE OTHER OBSTRUCTIONS OR FROM DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT NORTH CAROLINA ONE CALL TOLL FREE 1-800-632-4849 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES.
18. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
19. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
20. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE REFLECTIVE MARKINGS AND SHALL CONFORM TO MUTCD. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
21. LANDSCAPE PLANTINGS AT ENTRANCE/ EXITS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS PER LOCAL STANDARDS.
22. ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.

CITY OF WILMINGTON FIRE NOTES:

1. FIRE HYDRANTS TO BE INSTALLED PER CITY OF WILMINGTON ORDINANCE AND CFPUA STANDARDS. CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
3. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
4. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT.
5. ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
6. CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR THE COMMERCIAL RETAIL THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. THE EROSION CONTROL PLAN SHALL INCLUDE PROVISIONS FOR GROUND COVER ON ALL EXPOSED PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. GROUND COVER SHALL BE PROVIDED ON ALL OTHER DISTURBED AREAS WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
2. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK. (NO SEPARATE PAYMENT).
3. THE CONTRACTOR SHALL NOTIFY PLAN APPROVING AUTHORITY ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
6. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS STAGING OR STORAGE AREAS), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NEW HANOVER COUNTY FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.
7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY EITHER THE REVIEWING AGENCY OR THE ENGINEER. (NO SEPARATE PAYMENT).
8. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
9. ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SODDED OR SEEDED AS INDICATED AND STABILIZED.
10. DURING Dewatering OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY CONTRACTOR ONCE STABILIZATION OR A SUFFICIENT GROUND COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER. (NO SEPARATE PAYMENT). NCDENR'S FINAL APPROVAL IS REQUIRED.
13. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. (NO SEPARATE PAYMENT).
14. WHEN CROSSING CREEK OR DRAINAGE-WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED PRIOR TO DISTURBING A CREEK. THE CONTRACTOR SHALL INSTALL RIP-RAP WITH FABRIC ALONG DISTURBED BANKS AND CHANNEL AND RESTORE SLOPES TO ORIGINAL CONDITIONS, BUT NOT STEEPER THAN 2:1 MAXIMUM. DISTURBED CREEK AREA SHALL BE STABILIZED IMMEDIATELY.

DEMOLITION NOTES:

1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
2. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EXCAVATION.
3. DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES, ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE GEOTECHNICAL ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
4. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER.
5. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION HAS BEGUN. AFTERWARDS, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
7. EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
8. ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
9. CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
10. CONTRACTOR SHALL MAINTAIN REQUIRED DISTANCES FROM HIGH VOLTAGE OVERHEAD LINES AND REMOVE TREES SO THEY DO NOT FALL TOWARDS OVERHEAD ELECTRICITY.
11. PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
12. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.
13. EXISTING FIRE HYDRANTS ON OR NEAR THE SITE ARE TO REMAIN IN SERVICE.
14. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS.

TRAFFIC NOTES:

1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY(S) ARE TO BE THERMOPLASTIC & MEET CITY OF WILMINGTON AND/OR NCDOT STANDARDS.
2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
5. ANY OPEN CUTTING OF A CITY STREET REQUIRES A UTILITY CUT PERMIT. CONTACT 341-5889 FOR MORE DETAILS. IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
6. CONTACT TRAFFIC ENGINEERING, AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING FORTY- EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
7. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND/OR CURBING SHALL BE REPLACED.
8. TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.

EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES:

- NOTE: THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH "PHASE" OF CONSTRUCTION. THE ORDER AND STEPS TAKEN MUST BE IMPLEMENTED AS EACH PART OF THE PROJECT IS DEVELOPED, WHETHER AS A WHOLE OR IN PHASES. ANY EROSION CONTROL DEVICES/MEASURES MUST REMAIN IN PLACE UNTIL THE ENTIRE DISTURBANCE IS STABILIZED AND ALL IMPROVEMENTS WITHIN THE DISTURBANCE LIMITS ARE COMPLETE.
1. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCE(S), ESTABLISH THE LIMITS OF DISTURBANCE, TREE PROTECTION FENCING, AND TEMPORARY SILT FENCE.
  2. CLEAR AND REMOVE FROM SITE TREES AS DESIGNATED, ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE DESIGNATED CLEARING LIMITS.
  3. INSTALL REMAINING EROSION CONTROL MEASURES AS SHOWN ON THE PLANS WITHIN THE AREA DISTURBED. ALL EROSION CONTROL MEASURES MUST BE INSTALLED BEFORE COMMENCING CONSTRUCTION.
  4. PLANT GRASS OVER ALL GRADED AREAS WITHIN 14 WORKING DAYS OF CEASE OF ANY GRADING ACTIVITY.
  5. IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE CATCH BASIN, DROP INLET, ETC., THE CONTRACTOR SHALL INSTALL INLET PROTECTION TO PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION CONTROL MEASURES.

7. DURING GRADING AND AFTER GRADING HAS BEEN COMPLETE, THE CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL APPROVAL BY ENGINEER OR EROSION CONTROL INSPECTOR.
8. UPON RECEIVING FINAL APPROVAL, THE CONTRACTOR CAN REMOVE TEMPORARY EROSION CONTROL MEASURES.
9. THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN GRASS & PLANTED AREAS UNTIL ALL CONSTRUCTION IS COMPLETE.

EROSION CONTROL MAINTENANCE PLAN:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF- PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
3. SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES 0.5 FEET DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. SILT FENCE STAKES WILL BE SPACED 6 FEET APART UNLESS A WIRE BACKING IS USED WITH 8 FOOT STAKE SPACING.
4. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
5. INLET PROTECTION - INSPECT WIRE AND ROCK INLET PROTECTION AT LEAST ONCE A WEEK AND AFTER EACH SIGNIFICANT (¼ INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE SEDIMENT STORAGE AREA TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA AND REPLACE THE CONTAMINATED PART OF THE GRAVEL FACING.
6. SEDIMENT BASIN/SEDIMENT TRAPS - REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN IT ACCUMULATES TO WITHIN ONE HALF OF THE DESIGN DEPTH. PLACE SEDIMENT IN AREA WITH SEDIMENT CONTROL S. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, PIPING, AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE RISER AND POOL AREA.
7. SKIMMER - INSPECT SKIMMER AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL TO MAKE SURE THAT THE INTAKE MECHANISM, ORIFICE, OR DISCHARGE PIPE IS NOT CLOGGED WITH TRASH OR SEDIMENT. IF THE BASIN IS DRY, MAKE SURE THAT ANY VEGETATION GROWING ON THE BOTTOM IS NOT HOLDING THE SKIMMER DOWN. TAKE SPECIAL PRECAUTION IN WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.
8. OUTLET PROTECTION - INSPECT RIP RAP OUTLET STRUCTURES WEEKLY AND AFTER SIGNIFICANT (¼ INCH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.
9. EMERGENCY SPILLWAY / FOREBAY PROTECTION - AFTER EVERY HIGH-WATER EVENT INSPECT THE INTEGRITY OF THE LINED SPILLWAY AND THE ADJACENT EARTHEN BANKS. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE. REPAIR ANY VOIDS IN THE RIP RAP LINED APRONS, RE-ESTABLISH ANY LOOSE STONES, AND FIX GAPS IN THE ADJACENT VEGETATIVE COVER.
10. TEMPORARY DIVERSION DITCH - INSPECT TEMPORARY DIVERSIONS ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.
11. CHECK DAMS - EXCELSIOR OR RIP-RAP - SEDIMENT SHALL BE REMOVED FROM THE DAM WHEN IT REACHES HALF-FILLED. CHECK DAMS SHALL BE REPAIRED OR REPLACED WHEN THEY NO LONGER DRAIN AS DESIGNED OR ARE DISLODGED, AND CHANNEL SHALL BE REPAIRED OF RUTS, PIPING, AND SETTLEMENT AROUND THE DAMS AS NEEDED.

PERMANENT SEEDING

GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE
BERMUDA, HULLED BERMUDA, UNHULLED	10-20 35	MARCH - AUGUST SEPT. - FEB.	BY SOIL TEST
CENTPEDE	10	MARCH - AUGUST	BY SOIL TEST (NO HIGH PH)
TALL FESCUE (COASTAL CULTIVAR RECOMMENDED)	50	MARCH - AUGUST	300 LB/A 10-20-20 OR BY SOIL TEST
SLOPES >= 2:1 CENTPEDE SERICEA LESPEDEZA	5 20	JAN - DEC	BY SOIL TEST

TEMPORARY SEEDING

GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE
RYE GRAIN	50	OCT. - APR.	400 LBS/A 10-20-20
SWEET SUDAN GRASS	50	JUNE - AUGUST	400 LBS/A 10-20-20
GERMAN OR BROWNTOP MILLET	50	JUNE - AUGUST	400 LBS/A 10-20-20
STRAW MULCH AS NEEDED	4,000		

NC ACCESSIBILITY NOTES:

GENERAL NOTES:

1. SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
  2. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. PARAMOUNTE ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE POINT IN TIME WHEN THEY ARE BIDDING THE PROJECT. IN ADDITION, PARAMOUNTE ENGINEERING HAS MADE A POINT IN THESE NOTES AND DETAILS, AS WELL AS IN OUR DRAWINGS, TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1 AND APPLICABLE LOCAL LAWS & REGULATIONS. IF THESE SLOPES / GRADES AND DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK.
  3. THE CONTRACTOR SHALL NOTIFY PARAMOUNTE ENGINEERING IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS, WHETHER BY PARAMOUNTE ENGINEERING OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE ABOVE CONFLICT HAS BEEN DISCOVERED UNTIL SUCH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY OR DAMAGES AS A RESULT OF RESOLUTION OF ANY SUCH CONFLICT(S).
  4. THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.
- ACCESSIBLE ROUTE NOTES:
1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS OR SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.
  2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
  3. WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
  4. ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.
  5. TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSHAND FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAXIMUM VERTICAL CHANGE IN LEVEL PERMITTED).
  6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
  7. THE MINIMUM CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES SHALL BE FORTY-EIGHT (48) INCHES MINIMUM MEASURED BETWEEN HANDRAILS WHERE HANDRAILS ARE PROVIDED (NC BUILDING CODE 1104.1 & 1104.2).
  8. WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE THE SAME AS THE CLEAR WIDTH OF THE TURN WHEN THE CLEAR WIDTH OF THE TURN IS SIXTY (60) INCHES MINIMUM. \* SEE NOTE 7 ABOVE FOR NC CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES\*
  9. AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALL PROVIDE PASSING SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM. PASSING SPACES SHALL BE EITHER A SIXTY (60) INCH MINIMUM BY SIXTY (60) INCH MINIMUM SPACE, OR AN INTERSECTION OF TWO (2) WALKING SURFACES THAT PROVIDE A COMPLIANT T-SHAPED TURNING SPACE. PROVIDED THE BASE AND ARMS OF THE T-SHAPED SPACE EXTEND FORTY-EIGHT (48) INCHES MINIMUM BEYOND THE INTERSECTION.
  10. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
  11. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES.
  12. WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE. IN THE EVENT THEY ARE LOCATED, THEY MUST BE LOCATED AT AN ACCESSIBLE ROUTE. THE GRATE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), A117.1, THE NC BUILDINGS CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS

RAMP NOTES:

1. ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.
2. THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
3. THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING CODE 1104.1). WHERE HANDRAILS ARE PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE MEASURED BETWEEN THE HANDRAILS.
4. THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
5. LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2.0% IN ANY DIRECTION. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING. THE LANDING CLEAR LENGTH SHALL BE SIXTY (60) INCHES LONG MINIMUM. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDING OF SIXTY (60) INCHES BY SIXTY (60) INCHES MINIMUM.
6. RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
7. FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
8. EDGE PROTECTION COMPLYING WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS.
9. WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1 SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA. WHERE DOORS THAT ARE SUBJECT TO LOCKING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED TO PROVIDE A COMPLIANT TURNING SPACE.

CURB RAMP NOTES:

1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
2. COUNTER SLOPES OF ADJOINING CURBS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (36) MINIMUM, EXCLUSIVE OF FLARED SIDES, IF PROVIDED. \*NOTE NC BUILDING CODE REQUIRES EXTERIOR ACCESSIBLE ROUTES TO BE 48 INCHES MINIMUM WIDE (1104.1 & 1104.2).\*
4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION.
5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
6. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES. CURBS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
8. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
9. IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLYING WITH 406.12 A117.1, EXTENDING THE FULL WIDTH OF THE RAMP. REFERTO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES. THE NC BUILDING CODE DOES NOT CURRENTLY REQUIRE DETECTABLE WARNINGS AT CURB RAMPS, NOR DO THE 2010 ADA STANDARDS - HOWEVER US DOT ADA REGULATIONS DO REQUIRE THESE.
10. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, ¼ INCH WIDE BY ¼ INCH DEEP, ONE (1) INCH CENTERS TRANSVERSE TO THE RAMP.
11. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
12. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
13. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.
14. CURB RAMP TYPE AND LOCATION ARE PER PLAN.

NC ACCESSIBILITY NOTES CONTD.

PARKING SPACE NOTES:

1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
2. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESS AISLES SHALL BE 60 INCHES WIDE. ONE OF SIX ACCESSIBLE SPACES SHOULD PROVIDE A VAN ACCESSIBLE AISLE. THE AISLE SHOULD BE 96 INCHES WIDE (OR ACCESSIBLE SPACE IS 11 FEET AND ACCESS AISLE IS FIVE FEET), WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH LINES. THE WIDTH MEASUREMENTS SHALL BE MADE FROM CENTERLINE OF THE MARKINGS. WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE.
3. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FOR ACCESSIBLE ROUTES. MARKED CROSSINGS SHALL BE PROVIDED WHERE THE ACCESSIBLE ROUTE MUST CROSS VEHICULAR TRAFFIC LANES. WHERE POSSIBLE, IT IS PREFERABLE THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES.
4. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.
5. ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.
6. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.
7. ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.
8. FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
9. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
10. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
11. PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES MINIMUM. SIGNS SHALL BE PROVIDED AT ENTRANCES TO PARKING FACILITIES INFORMING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.
12. EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE INSTALLED AT A MINIMUM CLEAR HEIGHT OF SIXTY (60) INCHES ABOVE GRADE AND SHALL NOT INTERFERE WITH AN ACCESSIBLE ROUTE FROM AN ACCESS AISLE. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED WITH BOLLARD PROTECTION.
13. SIGNAGE AT ACCESSIBLE PARKING SPACES REQUIRED BY THE NC BUILDING CODE SECTION 1106.1 SHALL COMPLY WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTE 20-37.8 AND 136-30 AND THE NCDOT UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES. A SEPARATE SIGN IS REQUIRED FOR EACH SPACE. SIGNS TO INDICATE THE MAXIMUM PENALTY MUST BE PROVIDED AT EACH ACCESSIBLE SPACE.
14. ACCESSIBLE PARKING SPACE, ACCESS AISLE STRIPING, AND INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED BLUE (OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT).

PASSENGER LOADING ZONE NOTES:

1. PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM.
2. PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY SERVE.
3. ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY.
4. VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE VEHICLE PULL-UP SPACE THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
5. FLOOR SURFACES OF VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.
6. VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR EXIT SERVING THEM, SHALL PROVIDE A VERTICAL CLEARANCE OF ONE HUNDRED FOURTEEN (114) INCHES MINIMUM.

ACCESSIBLE ENTRANCE NOTES:

1. ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) AND THE NORTH CAROLINA BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.
2. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE/ANSI A117.1 AND SHALL BE ON AN ACCESSIBLE ROUTE.

GENERAL STORM SEWER NOTES:

1. ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS AND IN THE PROJECT SPECIFICATIONS.
2. BEDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE DRAWINGS.
3. ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS.

ROOF DRAIN NOTE:

- 1) PROPOSED BUILDING SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM.

EXISTING UTILITY NOTES:

1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
2. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNERS REPRESENTATIVE IMMEDIATELY.

WETLAND NOTES:

- 1) THERE ARE NO WETLANDS FLAGGED AND SURVEYED ON THE PROPERTY.

**GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT**  
Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

**SECTION E: GROUND STABILIZATION**

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQP) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

**Note:** After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

**GROUND STABILIZATION SPECIFICATION**

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"><li>Temporary grass seed covered with straw or other mulches and tackifiers</li><li>Hydroseeding</li><li>Rolled erosion control products with or without temporary grass seed</li><li>Appropriately applied straw or other mulch</li><li>Plastic sheeting</li></ul>	<ul style="list-style-type: none"><li>Permanent grass seed covered with straw or other mulches and tackifiers</li><li>Geotextile fabrics such as permanent soil reinforcement matting</li><li>Hydroseeding</li><li>Stubs or other permanent plantings covered with mulch</li><li>Uniform and evenly distributed ground cover sufficient to restrain erosion</li><li>Structural methods such as concrete, asphalt or retaining walls</li><li>Rolled erosion control products with grass seed</li></ul>

**POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

**EQUIPMENT AND VEHICLE MAINTENANCE**

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

**LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

**PAINT AND OTHER LIQUID WASTE**

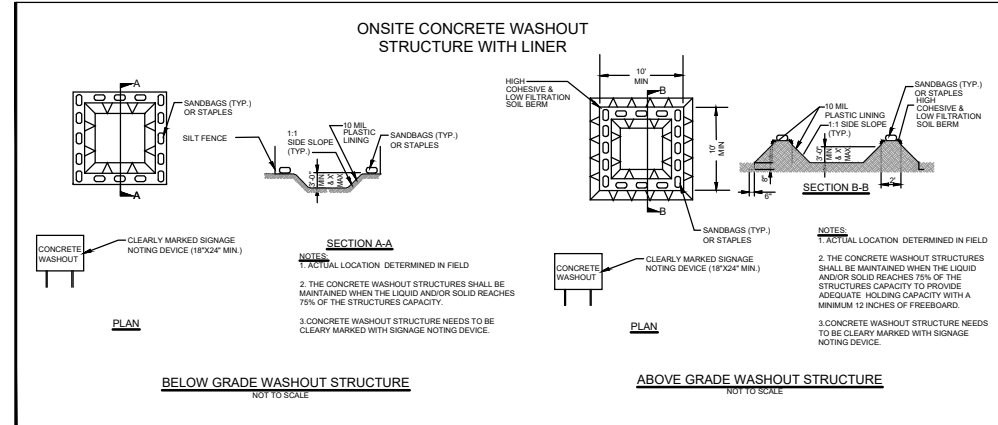
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

**PORTABLE TOILETS**

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

**EARTHEN STOCKPILE MANAGEMENT**

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



**CONCRETE WASHOUTS**

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within 10 perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

**HERBICIDES, PESTICIDES AND RODENTICIDES**

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

**HAZARDOUS AND TOXIC WASTE**

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

**NCG01 GROUND STABILIZATION AND MATERIALS HANDLING**

EFFECTIVE: 04/01/19

**PART III  
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION A: SELF-INSPECTION**

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measure. 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits. 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Records of the required reports to the appropriate Division Regional Office per Part II, Section C, Item (2)(b) of this permit. 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART III  
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION B: RECORDKEEPING**

**1. E&SC Plan Documentation**

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be documented in the manner described:

Item to Document	Documentation Requirements
(a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan.	Initial and date each E&SC Measure on a copy of the approved E&SC Plan or complete, date and sign an inspection report that lists each E&SC Measure shown on the approved E&SC Plan. This documentation is required upon the initial installation of the E&SC Measures or if the E&SC Measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC Plan.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC Measures.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

**2. Additional Documentation**

In addition to the E&SC Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This general permit as well as the certificate of coverage, after it is received.
- Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Record form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III  
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION C: REPORTING**

**1. Occurrences that must be reported**

Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
  - They are 25 gallons or more,
  - They are less than 25 gallons but cannot be cleaned up within 24 hours,
  - They cause sheen on surface waters (regardless of volume), or
  - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

**2. Reporting Timeframes and Other Requirements**

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"><li><b>Within 24 hours</b>, an oral or electronic notification.</li><li><b>Within 7 calendar days</b>, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.</li><li>If the stream is named on the <i>NC 303(d)</i> list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.</li></ul>
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"><li><b>Within 24 hours</b>, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.</li></ul>
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"><li><b>A report at least ten days before the date of the bypass, if possible.</b> The report shall include an evaluation of the anticipated quality and effect of the bypass.</li></ul>
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"><li><b>Within 24 hours</b>, an oral or electronic notification.</li><li><b>Within 7 calendar days</b>, a report that includes an evaluation of the quality and effect of the bypass.</li></ul>
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"><li><b>Within 24 hours</b>, an oral or electronic notification.</li><li><b>Within 7 calendar days</b>, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(l)(6).</li><li>Division staff may waive the requirement for a written report on a case-by-case basis.</li></ul>

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_



Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

**NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING**

EFFECTIVE: 04/01/19

REVISIONS:

CLIENT INFORMATION:

CROSSROADS HOLDINGS, LLC  
1730 Graham Ave  
Henderson, NC 27536

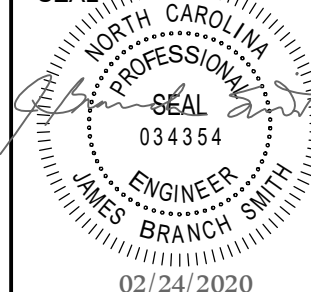
PARAMOUNT ENGINEERING  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License # C-2846

NPDES NCG01 NOTES

CROSSROADS INFINITI  
5730 & 5740 MARKET STREET  
WILMINGTON, NORTH CAROLINA

PROJECT STATUS  
PRELIMINARY LAYOUT  
FINAL DESIGN  
RELEASED FOR CONSTRUCTION

SEAL

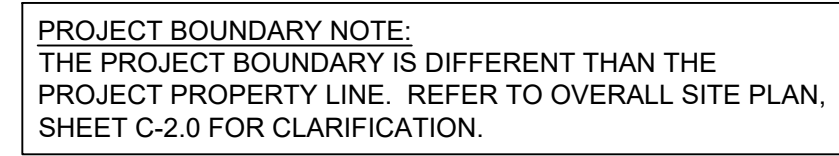


C-1.1

PEI JOB#: 18458.PE



## C-2.1



OWNER INFORMATION:  
(ALL PARCELS PER NHC GIS)

TAX PARCEL IDENTIFICATION #  
RECORDED DEED BOOK:  
CURRENT ZONING:  
EXISTING USE:  
PROPOSED USE:

R05009-005-007-000 & R05009-005-003-000  
BK 334 PG 179 & BK 334 PG 179  
RB - REGIONAL BUSINESS (BOTH PARCELS)  
COMMERCIAL (BOTH PARCELS)  
AUTOMOBILE SALES / SERVICE

PROPOSED REAR YARD  
LANDSCAPE BUFFER  
(SEE PLAN FOR DIMENSIONS)

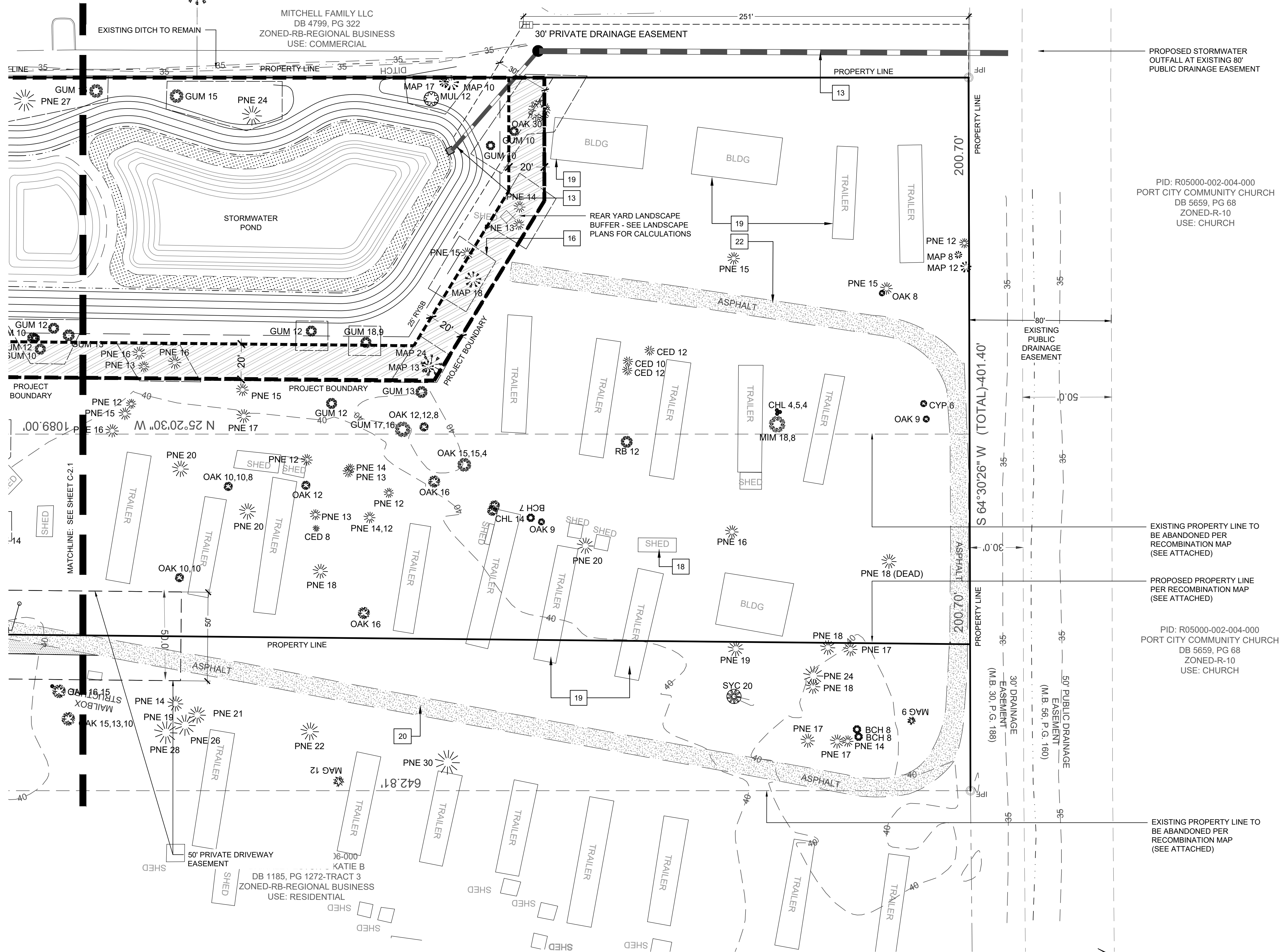
EXISTING TREES TO REMAIN  
(SYMBOLS VARY BY SPECIES,  
SEE TREE REMOVAL & PROTECTION  
PLAN, SHEET L-1.0)

- 1 STANDARD 24" CURB & GUTTER  
REFER TO DETAIL
- 2 STRIPING:  
PROVIDE 4" WIDE PARKING LOT  
STRIPING AS SHOWN. USE HIGH  
MARKING PAINT - WHITE (2 COAT)
- 3 ASPHALT PAVING:  
REFER TO DETAIL
- 4 WHEEL STOP:

- 10 DECORATIVE TILE PAVING AT BUILDING ENTRY (SEE ARCH'S DRAWINGS)
- 11 PROJECT SIGNAGE: UNDER SEPARATE PERMIT
- 12 TRASH ENCLOSURE: SEE DETAILS
- 13 STORM DRAIN: (PRIVATE) SEE ENGINEERING DWGS.

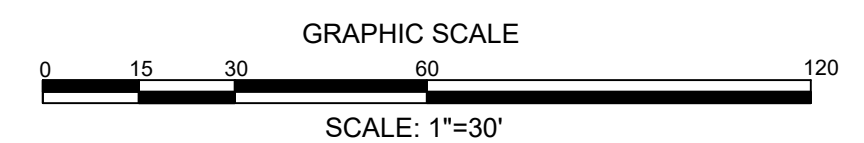
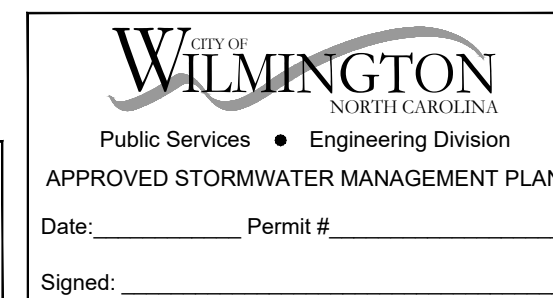
- 14** SANITARY SEWER:  
(PRIVATE) SEE  
ENGINEERING DWGS.
- 15** WATER SERVICE:  
(PRIVATE) SEE  
ENGINEERING DWGS.
- 16** TREE PROTECTION FENCING:  
SEE SHEET L-2.0
- 17** ADA TRUNCATED DOMES:  
AT ZERO CURB CONDITION

- 18 EXISTING SHED TO REMAIN:
- 19 EXISTING RESIDENTIAL TO  
REMAIN:
- 20 EXISTING ASPHALT  
DRIVEWAY TO REMAIN:
- 21 PROPOSED FIRE HYDRANT:
- 22 PARKING LOT LIGHTING:  
FINAL DESIGN TO BE  
PROVIDED BY DUKE ENERGY



	Name	Date
Planning		
Traffic		
Fire		

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

# SITE PLAN

CROSSROADS INFINITI  
5730 & 5740 MARKET STREET  
WILMINGTON, NORTH CAROLINA

# PARAMOUNT

122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846

CLIENT INFORMATION.

CROSSROADS HOLDINGS, LLC  
1730 Graham Ave  
Henderson, NC 27536

REVISIONS:

REVISIONS:


**PROJECT STATUS:**

PRELIMINARY LAYOUT:  
FINAL DESIGN:  
RELEASED FOR CONST:

## DRAWING INFORMATION

DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_

SCALE:  
DESIGNED:  
DRAWN:

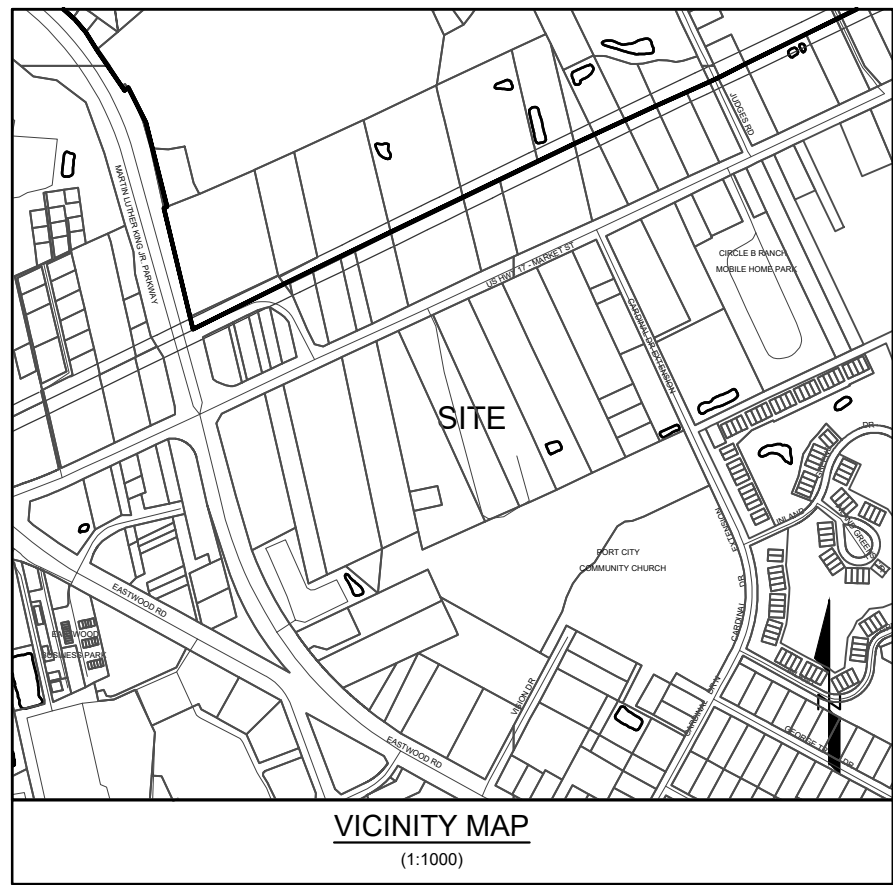
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_

SEA



C-2.2

PEI JOB#: 18458.PE



DEMOLITION LEGEND:

- EXISTING BUILDING, SHED AND/OR MOBILE HOME TO BE DEMOLISHED, REMOVED OR RELOCATED - SEE PLAN FOR QUANTITY
- EXISTING GRAVEL SURFACE TO BE REMOVED
- EXISTING ASPHALT SURFACE TO BE REMOVED
- EXISTING CONCRETE SURFACE TO BE REMOVED
- EXISTING TREE TO BE REMOVED, SEE TREE REMOVAL PLAN

EXISTING TRANSFORMER WITHIN PROJECT BOUNDARY TO BE REMOVED & RELOCATED (TYP)

EXISTING PERVIOUS SURFACE (TYP)

EXISTING TREE TO BE REMOVED FOR PROPOSED SITE IMPROVEMENTS

NON-JURISDICTIONAL LOW AREA TO BE REMOVED

EXISTING FENCE WITHIN PROJECT BOUNDARY TO BE REMOVED (TYP)

PARR05009-004-034-000  
STANLEY PEARSON ALEXANDER JR HEIR  
DB 9905, PG 2214  
ZONED-RB-REGIONAL BUSINESS  
USE: COMMERCIAL

PARR05009-004-034-000  
MATTHEW STEVEN H DALE S  
DB 5963, PG 168  
ZONED-RB-REGIONAL BUSINESS  
USE: COMMERCIAL

LEGEND:

- IRON PIPE FOUND
- IRON ROD FOUND
- IRON ROD SET
- PK NAIL FOUND
- PK NAIL SET
- CONCRETE MONUMENT FOUND
- LIGHT POLE
- UTILITY POLE
- GUY ANCHOR
- TRANSFORMER
- TELEPHONE RISER
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- CLEAN-OUT
- SANITARY SEWER MANHOLE
- STORM DRAINAGE MANHOLE
- WELL
- CURB INLET
- CATCH BASIN
- GAS METER
- MAILBOX
- TREES

- CHAINLINK FENCE
- EXISTING CONTOUR
- RIGHT OF WAY/BOUNDARY

OWNER INFORMATION

PIN: R05009-005-006-000, R05009-005-005-000,  
R05009-005-003-000, R05009-005-002-000  
5720-5744 MARKET STREET  
ZONED: RB  
DEED BOOK 1139, PAGE 1804  
DEED BOOK 1185, PAGE 1272  
DEED BOOK 3343, PAGE 179  
DEED BOOK 4799, PAGE 322  
MAP BOOK 56, PAGE 160  
MAP BOOK 53, PAGE 295

LOT AREA = 437,124 SQ. FT. ± 10.035 ACRES ±

Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

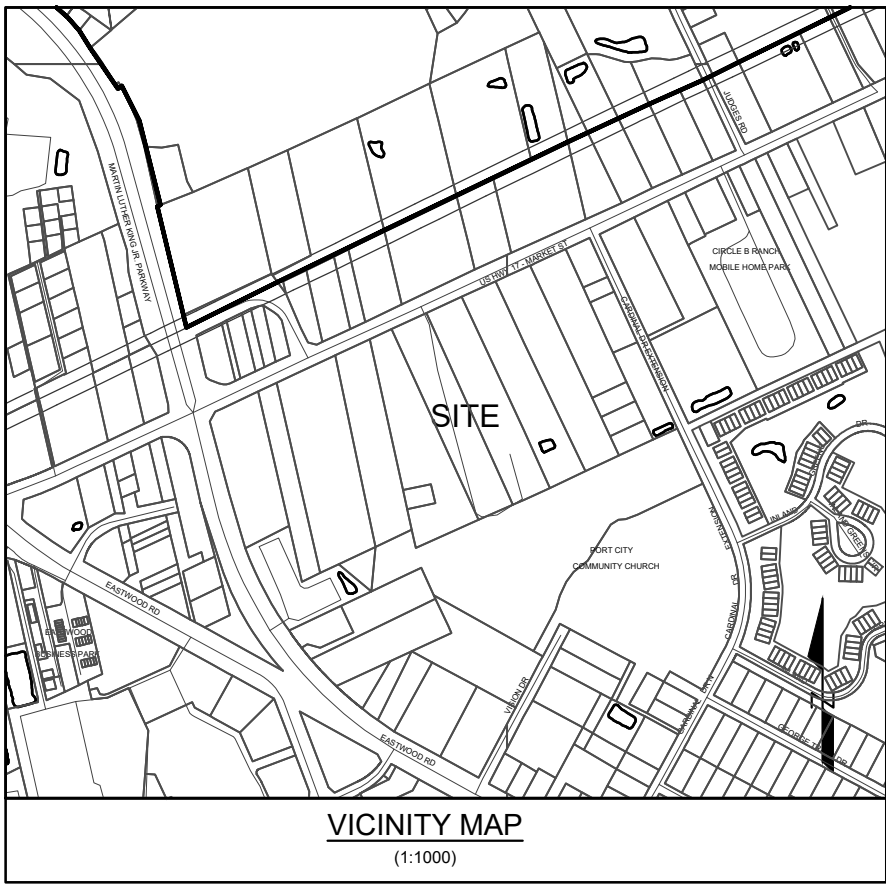
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

0 50 100 150  
SCALE: 1"=50'

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:	CLIENT INFORMATION:	SITE INVENTORY & DEMOLITION PLAN	PROJECT STATUS
	CROSSROADS HOLDINGS, LLC 1730 Graham Ave Henderson, NC 27536	CROSSROADS INFINITI 5730 & 5740 MARKET STREET WILMINGTON, NORTH CAROLINA	1001/19 2/24/20 PRELIMINARY LAYOUT: FINAL DESIGN: RELEASED FOR CONSTRUCTION: DATE: 02/24/2020 SCALE: 1"=50' DRAWN: JAMES BRANCH CHECKED: TCC
	PARAMOUNT ENGINEERING 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License # C-2846		SEAL JAMES BRANCH ENGINEER 034354 02/24/2020
			C-3.0 PEI JOB#: 18458.PE



### PHASE I EROSION CONTROL NOTES:

- 1.) SITE CONTRACTOR TO FOLLOW TYPICAL SEQUENCE OF EROSION CONTROL MEASURES ON GENERAL NOTES, SHEET C-1.0
- 2.) THE PONDS WILL BE USED AS SEDIMENT STORAGE DEVICES WITH DIVERSION DITCHES CARRYING THE MAJORITY OF CLEARING DRAINAGE TO THE SEDIMENT BASINS. AS PHASE 2 IS CONSTRUCTED, STORM DRAIN AND GRADING WILL REDIRECT DRAINAGE AS NECESSARY. SILT FENCE SHALL REMAIN IN-PLACE DURING PHASE I AND II CONSTRUCTION ACTIVITIES.
- 3.) PHASE II EROSION CONTROL CAN BE FOUND ON THE FINAL GRADING AND DRAINAGE SHEET, C-4.0.

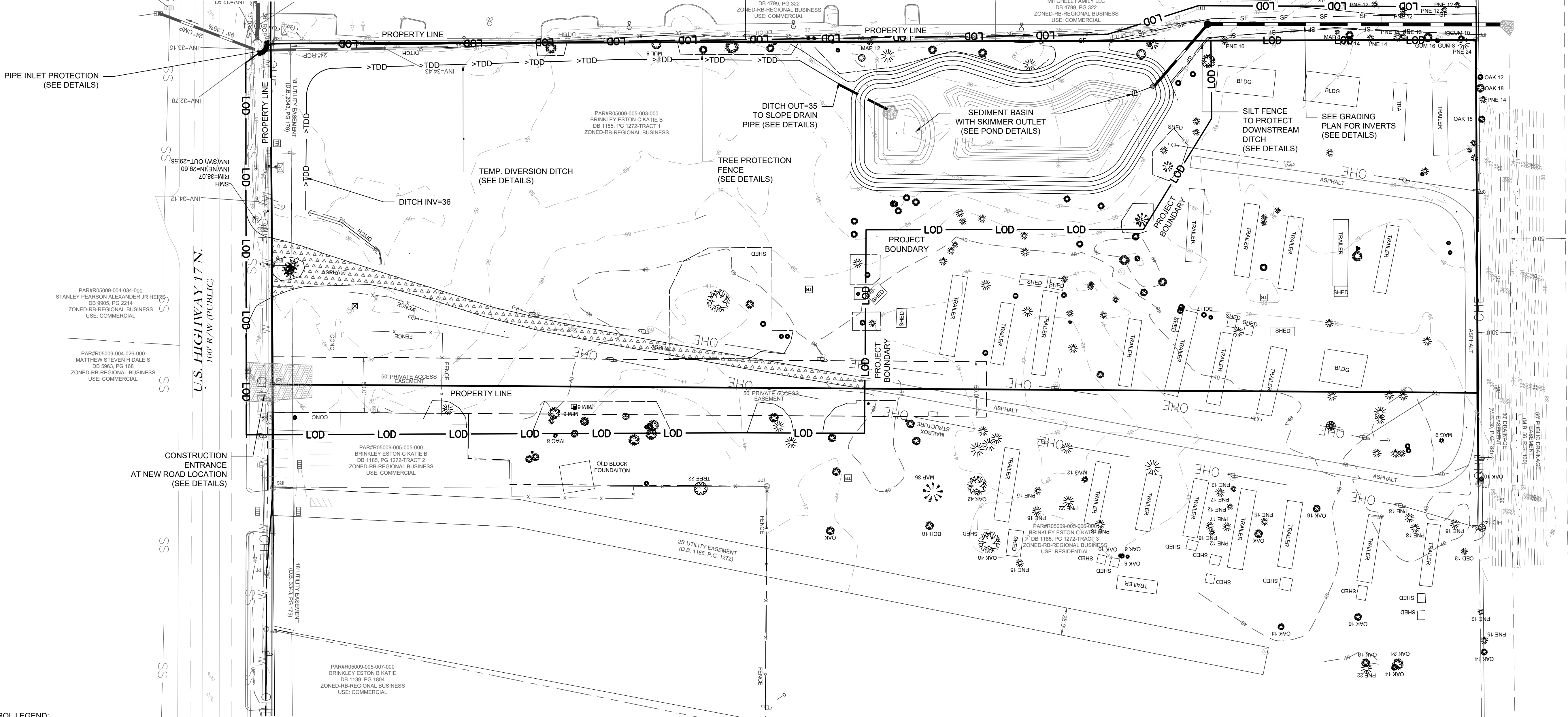
### GRADING NOTES:

- 1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE STOCKPILE LOCATIONS ON SITE IF NOT SPECIFIED. SEE GENERAL NOTES SHEET (C-1.0, TYP.) FOR GRADING, DRAINAGE, AND EROSION CONTROL SEQUENCE NOTES AND REQUIREMENTS. IN ADDITION, REFERENCE TECHNICAL SPECIFICATIONS AND DETAIL SHEETS FOR MORE INFORMATION.
- 2.) SEE GRADING AND DRAINAGE PLANS FOR FINISH GRADES AND STORM PIPE SCHEDULE.
- 3.) A GEOTECHNICAL ENGINEER OR INSPECTORS SHALL BE CONSULTED TO CONFIRM SUITABILITY OF SUBGRADE MATERIAL AND PROPER COMPACTION PER EARTHWORK SPECIFICATIONS IN FILL AREAS.

### ASPHALT AREA NOTE:

- 1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

TOTAL LIMITS OF DISTURBANCE  
6.10 ACRE



### EROSION CONTROL LEGEND:

- LOD LOD LIMITS OF DISTURBANCE
- SF SF SILT FENCE
- TREE PROTECTION FENCING
- >TDD >TDD TEMP. DIVERSION DITCHES
- 20 PROPOSED CONTOURS
- 20 EXISTING CONTOURS
- SILT FENCE STONE OUTLET
- WATTLE OR RIP-RAP CHECK DAM
- TREE REMOVAL
- TREE PROTECTION FENCING
- INLET PROTECTION
- GRAVEL ENTRANCE
- RIP-RAP
- VEGETATION PER TYPE

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

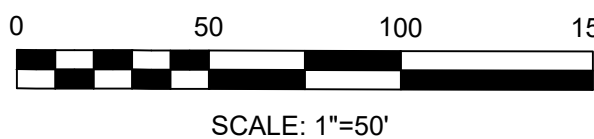
WILMINGTON NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: Permit #

Signed: \_\_\_\_\_



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

CROSSROADS HOLDINGS, LLC  
1730 Graham Ave  
Henderson, NC 27536

PARAMOUNT ENGINEERING INC.  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License # C-2846

EROSION CONTROL PLAN  
PHASE I  
CROSSROADS INFINITI  
5730 & 5740 MARKET STREET  
WILMINGTON, NORTH CAROLINA

PROJECT STATUS

10/01/19  
22420

PRELIMINARY LAYOUT  
FINAL DESIGN  
RELEASED FOR CONSTRUCTION

DRAWING INFORMATION

DATE: 02/24/2020  
SCALE: 1"=50'  
DRAWN: JAMES BRANCH  
CHECKED: TCC

SEAL

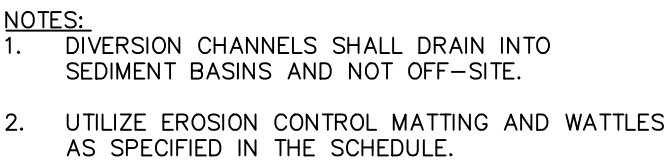
PROFESSIONAL SEAL  
034354  
ENGINEER  
JAMES BRANCH  
02/24/2020

C-3.1

PEI JOB#: 18458.PE

<b>C-4.0</b>		<b>PROJECT STATUS</b> CONCEPTUAL LAYOUT: APRIL 19, 2020 FINAL DESIGN: 2/24/20	<b>GRADING &amp; DRAINAGE PLAN</b>  CROSSROADS INFINITI 5730 & 5740 MARKET STREET WILMINGTON, NORTH CAROLINA	<p align="center"><b>PARAMOUNT<sup>®</sup></b> ENGINEERING</p> <p align="center">122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846</p>	CLIENT INFORMATION:  CROSSROADS HOLDINGS, LLC 1730 Graham Ave Henderson, NC 27536	REVISIONS:





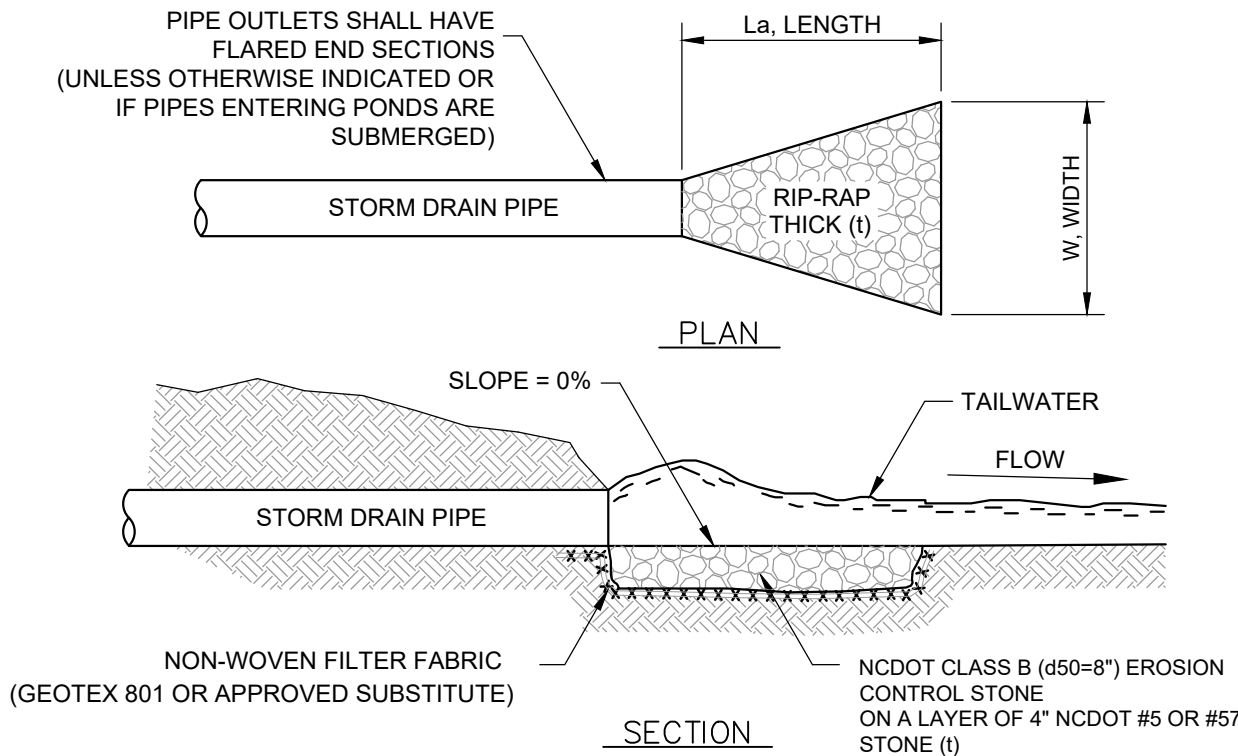
NOT TO SCALE



NOT TO SCALE

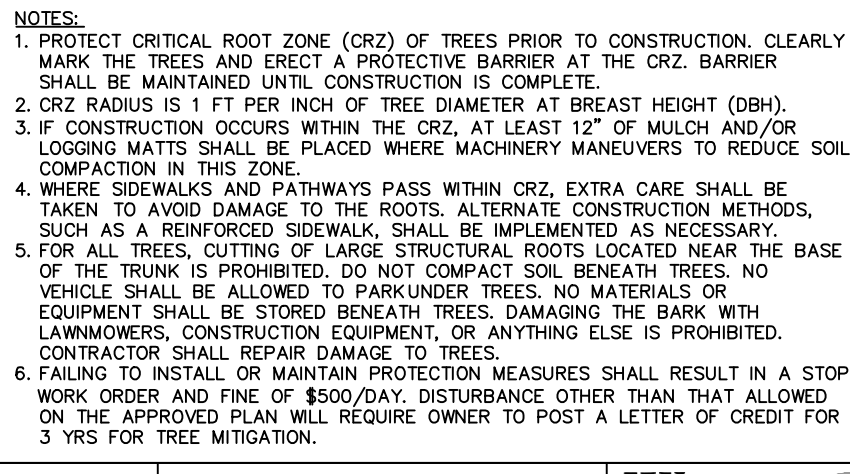


1. WIRE FENCE (IF USED) SHALL BE MINIMUM 14 GAUGE WITH A MAXIMUM MESH OPENING OF 6-INCHES.
2. SYNTHETIC FILTER FABRIC OF AT LEAST 95% BY WEIGHT OF POLYOLEFIN OR POLYESTER, WHICH IS CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE REQUIREMENTS IN ASTM D 5847, AND ALSO SHALL CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS ACCORDING TO ASTM D 4355.
3. SEE THE NC EROSION CONTROL MANUAL FOR SPECIFICATIONS INSTALLING SEDIMENT FENCE USING THE SLICING METHOD MACHINERY.

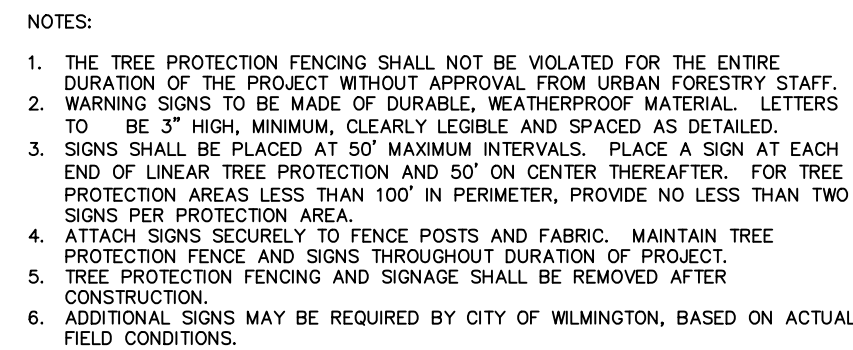


### RIP-RAP APRON DETAIL

NOT TO SCALE



DATE: JAN, 2015 DRAWN BY: JSR CHECKED BY: RDG, P.E. SCALE: NOT TO SCALE		STANDARD DETAIL  TREE PROTECTION DURING CONSTRUCTION	 CITY OF WILMINGTON NORTH CAROLINA  CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807	SD 15-09
		SHEET 1 of 2		



DATE: JAN, 2015		<p align="center"><b>STANDARD DETAIL</b></p> <p align="center"><b>TREE PROTECTION DURING CONSTRUCTION</b></p> <p align="right">SHEET 2 of 2</p>	 <p align="center">CITY OF <b>WILMINGTON</b> NORTH CAROLINA</p> <p align="center">CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN BY: JSR			
CHECKED BY: RDG, P.E.			
SCALE: <u>NOT TO SCALE</u>			



NOT TO SCALE

Hi-Flow DANDY SACK™ (SAFETY ORANGE)			
Mechanistic Properties	Test Method	Units	MARV
Grob Tensile Strength	ASTM D 4632	kN (lbf)	1.62 (365) x (8.09) 200
Grob Tensile Elongation	ASTM D 4632	%	24 x 10
Puncture Strength	ASTM D 4833	N (lbf)	0.40 (90)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	3097 (450)
Trampoline Tear Strength	ASTM D 4533	kN (lbf)	0.51 (115) x (0.33) (75)
UV Resistance	ASTM D 4355	h	2
Apparent Opening Size	ASTM D 4751	mm (US Sieve No)	0.425 (40)
Flow Rate	ASTM D 4533	l/min/m <sup>2</sup> (gpm/ft <sup>2</sup> )	5.07 (45)
Permeability	ASTM D 4491	sec	2.1

\*Note: All Dandy Socks™ can be ordered with our optional oil absorbent pillows.



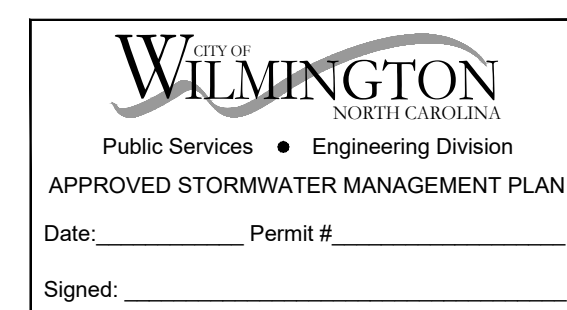
NOT TO SCALE



NOT TO SCALE



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

CROSSROADS INFINITI  
5730 & 5740 MARKET STREET  
WILMINGTON, NORTH CAROLINA

# PARAMOUNT

122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846

REVISIONS:

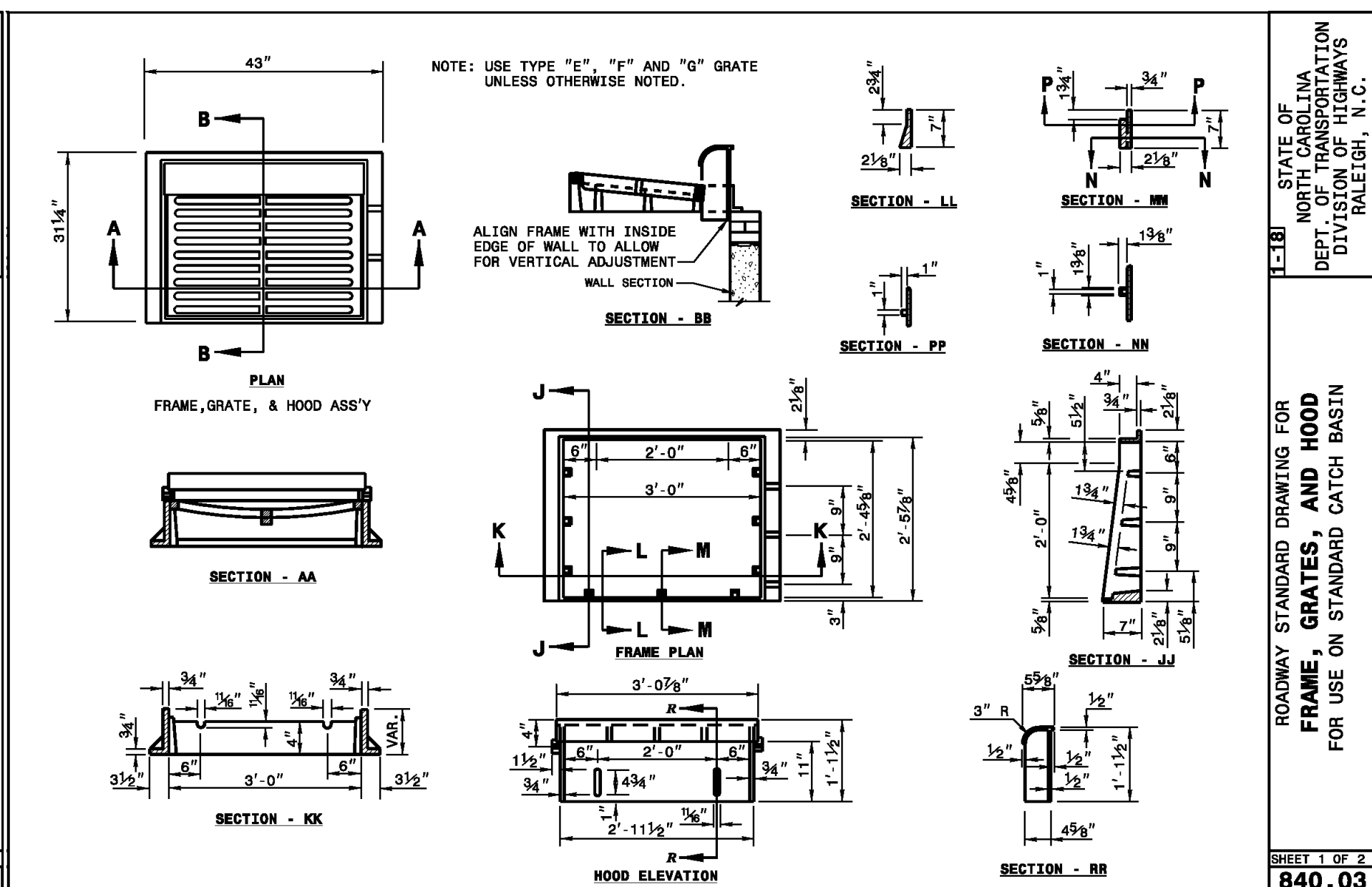
CROSSROADS HOLDINGS, LLC  
1730 Graham Ave  
Henderson, NC 27536

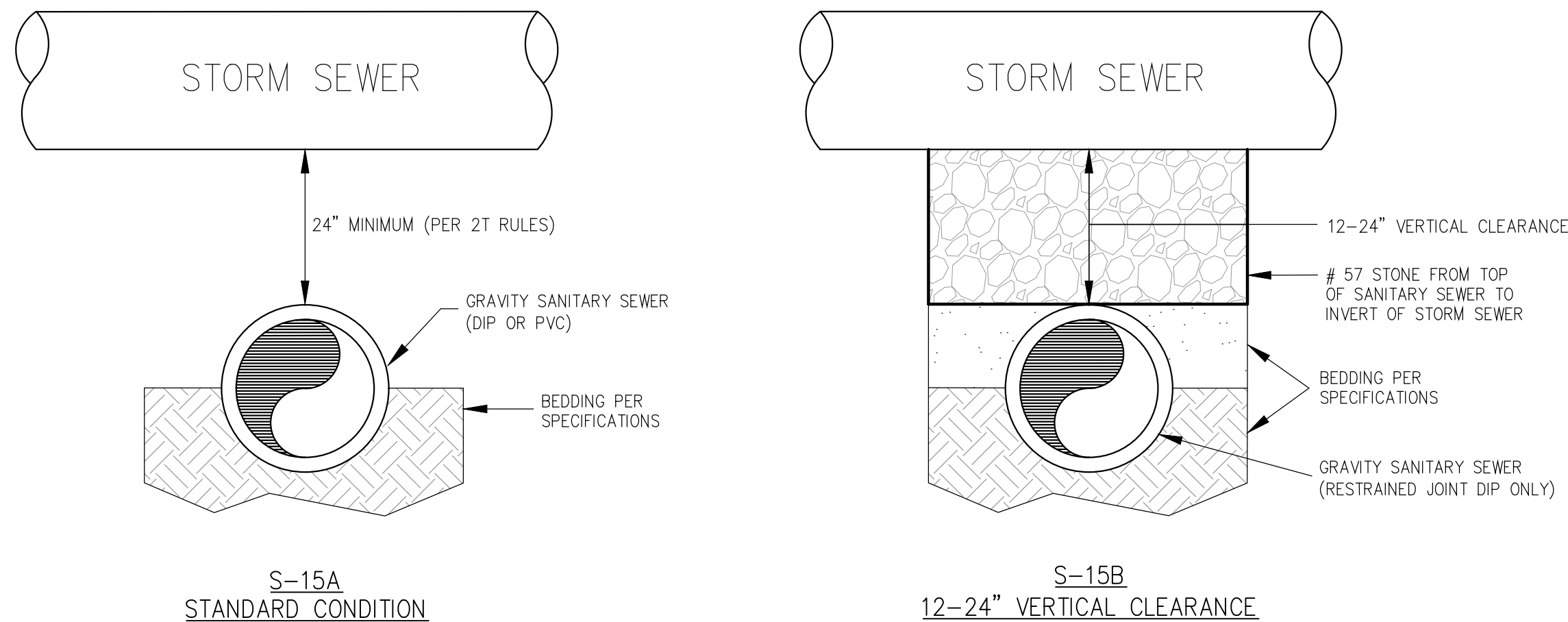
PROJECT STATUS	
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5	6
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9	10
11	12
13	14
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99	100

RELEASED FOR CONST:	
<b><u>DRAWING INFORMATION</u></b>	
DATE:	02/24/2020
SCALE:	NO SCALE
DESIGNED:	JBS
DRAWN:	MIN
CHECKED:	TC

C-5.1

PEI JOB#: 18458.PE

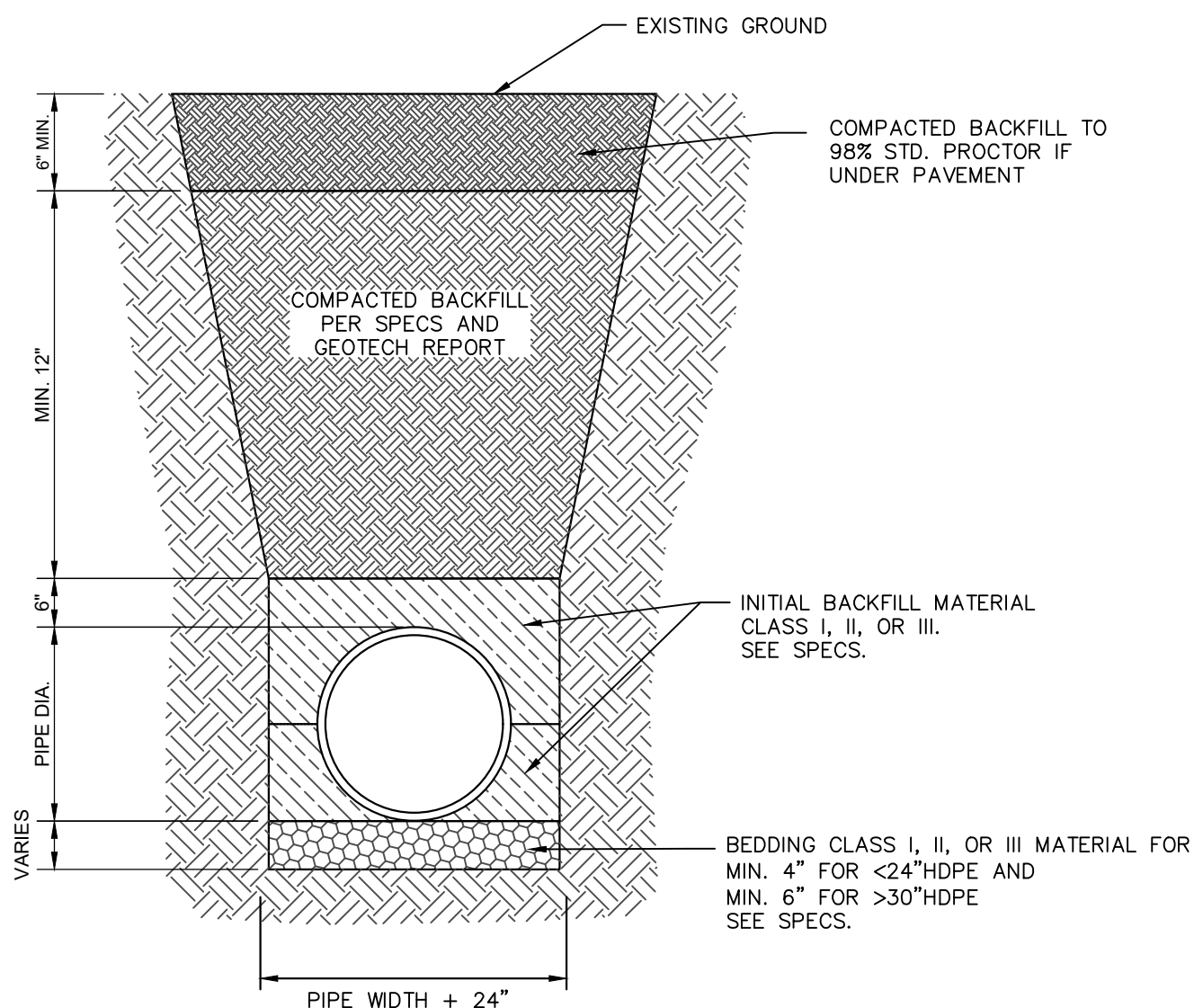




- NOTES:
1. INSTALLATION DETAIL REFERENCES ASTM C-1479, "STANDARD PRACTICE FOR INSTALLATION OF CONCRETE SEWER, STORM DRAIN, AND CULVERT PIPE USING STANDARD INSTALLATIONS," LATEST EDITION.
  2. EXCAVATION FOR STORM DRAINAGE PIPE SHALL BE TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.
  3. THE BEDDING SHALL PROVIDE A FIRM FOUNDATION OF UNIFORM DENSITY ALONG THE ENTIRE LENGTH OF PIPE. RECESSES SHALL BE MADE TO ACCOMMODATE BELLS AND JOINTS.
  4. WHERE UNSUITABLE SOILS ARE ENCOUNTERED AS DEFINED PER THE SPECIFICATIONS, UNSUITABLE SOILS MUST BE UNDERCUT AND FILLED WITH SUITABLE SOIL AND COMPACTED TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY UNIT WEIGHT IN ACCORDANCE WITH ASTM D 698.

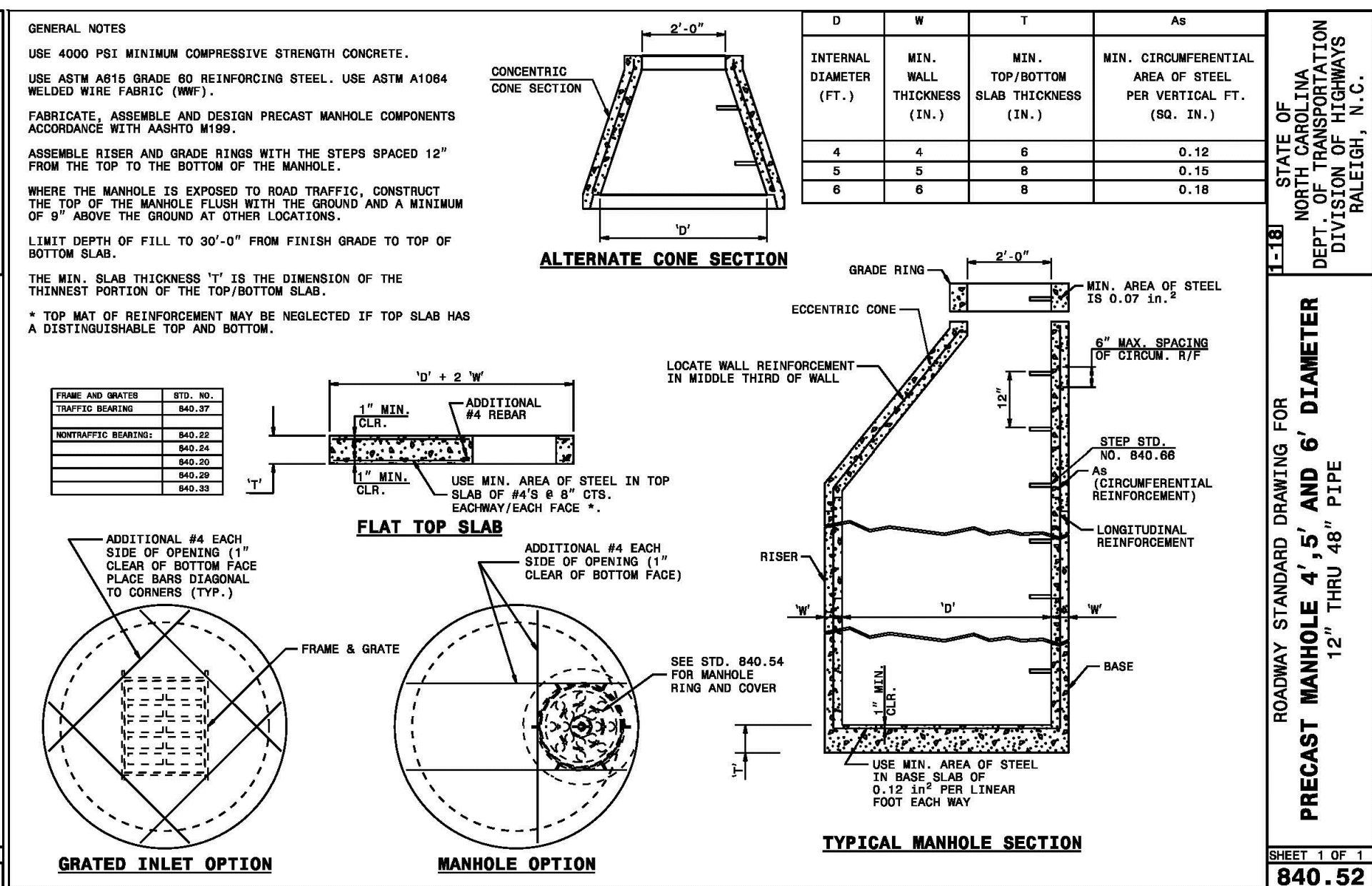
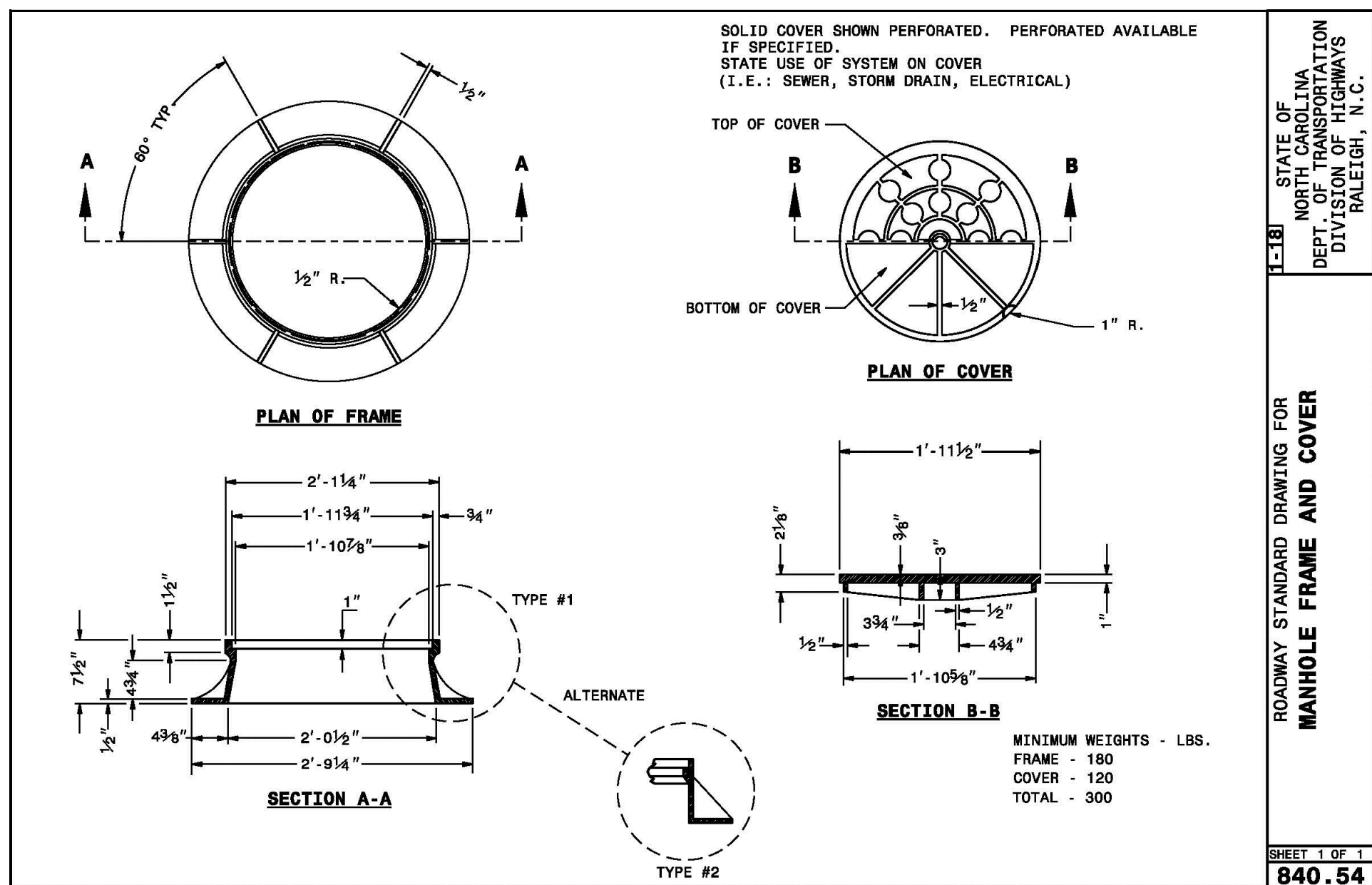
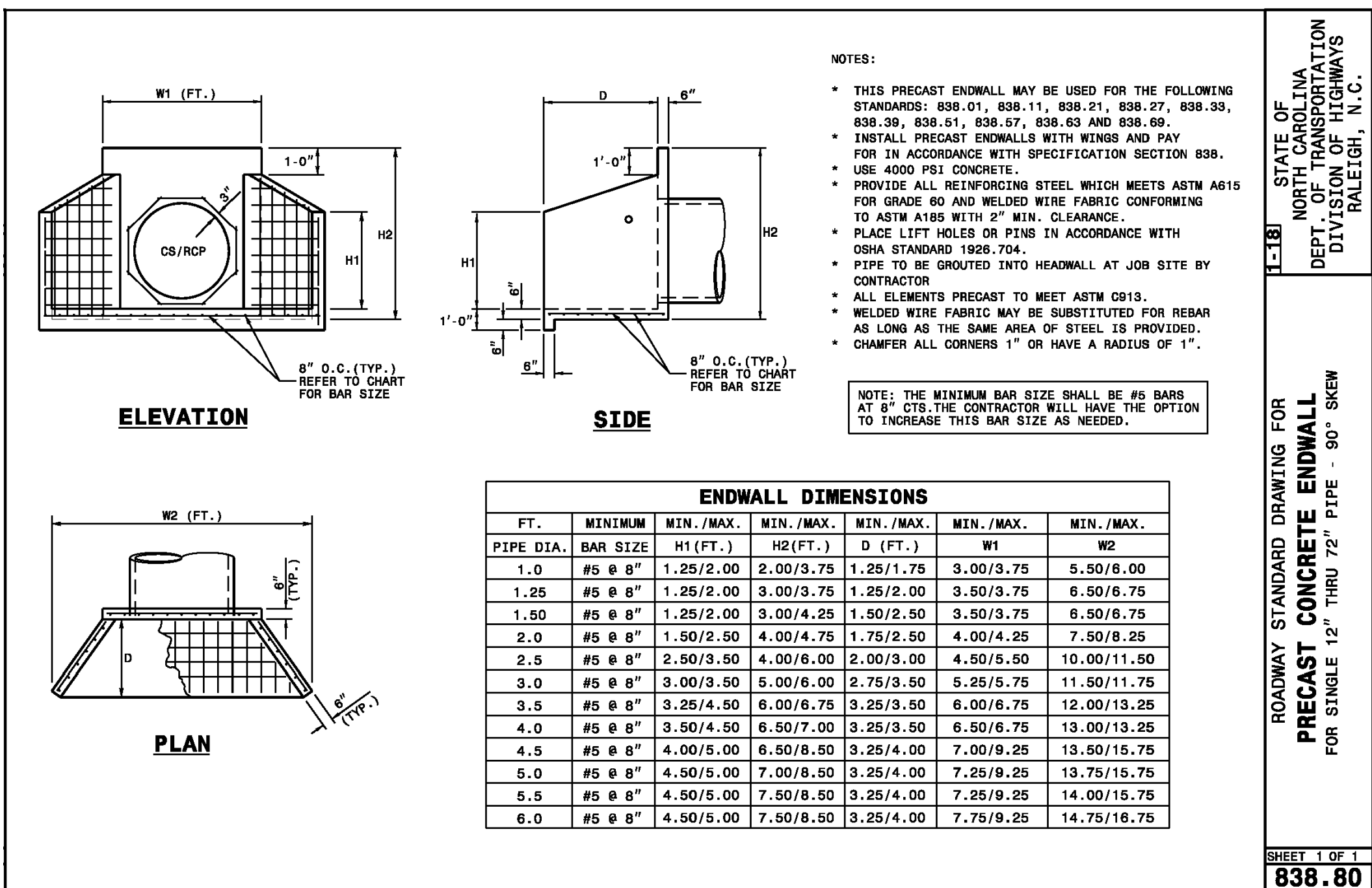
## STORM DRAIN CONCRETE PIPE TRENCH

NOT TO SCALE

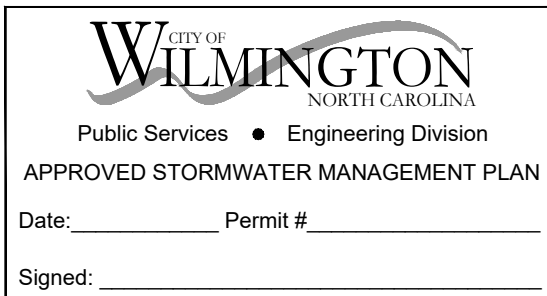


## STORM DRAIN HDPE/HP PIPE TRENCH

NOT TO SCALE



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Approved Construction Plan

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

## DETAILS

CROSSROADS INFINITI  
5730 & 5740 MARKET STREET  
WILMINGTON, NORTH CAROLINA

# PARAMOUNT

122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846

CROSSROADS HOLDINGS, LLC  
1730 Graham Ave  
Henderson, NC 27536

REVISIONS:

## PROJECT STATUS

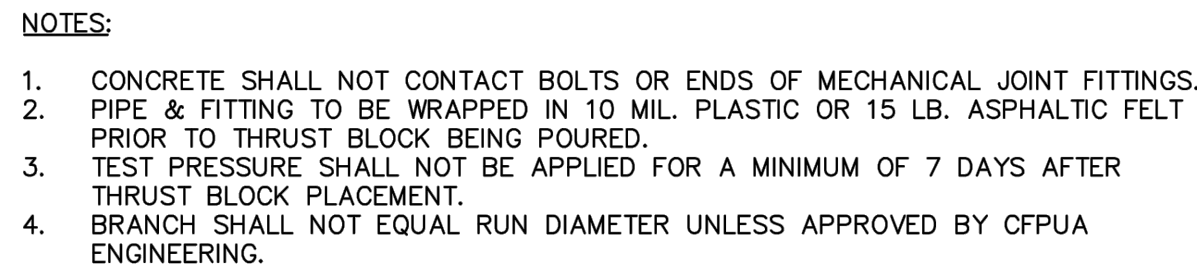
CONCEPTUAL LAYOUT:	10/01/19
PRELIMINARY LAYOUT:	2/24/20
FINAL DESIGN:	
RELEASED FOR CONSTRUCTION:	

**DRAWING INFORMATION**

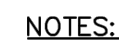
DATE:	02/24/2020
SCALE:	NO SCALE
DESIGNED:	-
DRAWN:	MIN
CHECKED:	TC

## C-5.3

PEI JOB#: 18458.PE



DETAIL: <b>TAPPING SLEEVE AND VALVE ASSEMBLY</b> (4"-24")		 <p> <b>CAPE FEAR PUBLIC UTILITY AUTHORITY</b>          235 GOVERNMENT CENTER DRIVE          WILMINGTON, NC 28403          OFFICE: (910)332-6560       </p> <p>Stewardship. Sustainability. Service.</p>	DETAIL NO: <b>WS-9</b>
SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/20		SHEET NO: -
CFPUA REV. NO: 2			



1. PROVIDE TOTAL LENGTH OF RESTRAINED JOINTS UPSTREAM AS REQUIRED FOR MAIN DIAMETER AT 150 psi TEST PRESSURE. WHEN UPSTREAM BENDS ARE WITHIN THE DEAD LENGTH, ADD TOTAL BEND RESTRAINT FOR EACH BEND TO DEAD-IN LENGTH.
2. IF MAIN IS LARGER THAN 2", END WITH A VALVE SIZED FOR THE MAIN, THREADED CAP SIZED ON VALVE FOR THE 2" BLOW-OFF.

DETAIL:  2 INCH BLOW-OFF		 CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560  Stewardship, Sustainability, Service.	DETAIL NO:  W-7
SCALE: NOT TO SCALE	CFPUA DETAIL DATE:  01/01/20		SHEET NO:  -
CFPUA REV. NO: 2			



1. JOINT RESTRAINT SYSTEMS SHALL BE WEDGE ACTION STYLE FOR DI.
2. ALL VALVE AND HYDRANT SYSTEMS SHALL BE COVER BELL RESTRAINT SYSTEM.
3. SHALL HAVE 316 STAINLESS STEEL HARNESS AND FASTENERS.
3. CONTINUOUS 316 STAINLESS STEEL ROOS (TEE TO VALVE AND VALVE TO HYDRANT) MAY BE USED WITH COR-BLUE MJ T-BOLT AND GASKET KITS, AS AN ALTERNATIVE.
4. HYDRANT AND VALVE SHALL BE PLACED ABOVE DITCH LIMITS.
5. WEEP HOLES OPEN AND UNBLOCKED TO DRAIN.
6. MJ TEE SHALL BE RESTRAINED ON EACH SIDE OF MAIN PLUS MAIN VALVES, FITTING, OR JOINTS WITHIN 10-FOET OF MJ TEE.
7. FINISHING WIRE SHALL EXTEND ALONG HYDRANT LATERAL AND UP TO FINISHED GRADE WITH 2-FOET EXTENDED ABOVE THE BREAK RING OF HYDRANT.

DETAIL:  <b>FIRE HYDRANT ASSEMBLY</b>		 <b>CAPE FEAR PUBLIC UTILITY AUTHORITY</b> 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560  Stewardship. Sustainability. Service.	DETAIL NO:  <b>W-9</b>
SCALE: NOT TO SCALE	CFPUA DETAIL DATE:  01/01/20		SHEET NO:  -
CFPUA REV. NO:      2			



NOTES:

1. ALL WATER SERVICES SHALL BE INSTALLED PERPENDICULAR TO MAIN AND TERMINATE 18" INSIDE THE RIGHT OF WAY.
2. WATER SERVICE SADDLES ON PVC MAINS SHALL BE WIDE BAND BRASS BODY.
3. METERS AND SUBMETERS SHALL CONFORM TO ASTM A48, CLASS 30B AND AASHTO H20 LOAD RATING STANDARDS.
4. 3" CLEAN FILL REQUIRED ALL AROUND 1" POLY SERVICE LINE.
5. JOINT RESTRAINT SYSTEMS SHALL BE WEDGE ACTION TYPE FOR DI OR C-900 PVC PIPE.
6. METER BOXES SHALL BE LOCATED MINIMUM 5- FEET FROM THE PROPERTY CORNER.
7. ASSEMBLY TO BE CENTERED IN THE METER BOX.

<div>DETAIL:</div> <div>DOUBLE WATER SERVICE - DOMESTIC AND IRRIGATION SPLIT</div>		<div></div> <div>CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560</div> <div>Stewardship. Sustainability. Service.</div>	<div>DETAIL NO:</div> <div>W-5</div>
<div>SCALE: NOT TO SCALE</div>	<div>CFPUA DETAIL DATE:</div> <div>01/01/20</div>		<div>SHEET NO:</div> <div>-</div>
<div>CFPUA REV. No: 2</div>			

- CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD NOTES:

1. ALL PROPOSED ADDITIONS TO THE CAPE FEAR PUBLIC UTILITY AUTHORITY (CPFAU) WATER DISTRIBUTION AND SANITARY SEWER COLLECTION SYSTEMS, AS SHOWN AND SPECIFIED HEREIN, SHALL BE DESIGNED AND CONSTRUCTED TO CONFORM TO STD. 116 RULES OF THE QUALITY MINIMUM TECHNICAL STANDARDS. THE CPFAU QUALITY MINIMUM TECHNICAL STANDARDS ARE CONTAINED IN THE CURRENT DESIGN GUIDANCE MANUAL, MATERIAL SPECIFICATION MANUAL, TECHNICAL SPECIFICATIONS FOR CONSTRUCTION, AND STANDARD DRAWING DETAILS.
2. SEWER GUARDS REQUIRED AT ALL MANHOLES, STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
3. WATER AND SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE 18" INSIDE RIGHT-OF-WAY LINE. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR.
4. ALL SEWER SERVICES SHALL BE 18" INSIDE RIGHT-OF-WAY LINE. ALL SEWER SERVICES CONNECTING INTO DUCTILE IRON MAINS SHALL ALSO BE CONSTRUCTED OF DIP.
5. MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
6. NO FLEXIBLE COUPLINGS SHALL BE USED.
7. ALL STAINLESS STEEL FASTENERS SHALL BE TYPE 316.
8. CLEANOUTS SHALL BE LOCATED A MINIMUM OF 6 FEET FROM ALL PROPERTY CORNERS.
9. WATER MAINS SHALL BE TO BE A MINIMUM OF 5 FEET FROM UTILITY PROPERTY CORNER.
10. UNUSED SERVICES SHALL BE ABANDONED. ABANDONED WATER SERVICES SHALL BE DISCONNECTED FROM MAIN.
11. A MINIMUM OF 10' OF MAIN LINE, 5' UPSTREAM AND 5' DOWNSTREAM SHALL BE REPLACED FOR NEW SEWER SERVICE CONNECTIONS TO EXISTING CLAY GRAVITY SEWER MAINS.
12. A MINIMUM OF 20' OF MAIN LINE, 10' UPSTREAM AND 10' DOWNSTREAM SHALL BE REPLACED FOR NEW CUT IN MANHOLES ON EXISTING CLAY GRAVITY SEWER MAINS
13. PROVIDE A MINIMUM DISTANCE OF SIX (6) INCHES BETWEEN EDGE OF MANHOLE CORE HOLES AND MANHOLE BARREL.
14. PROVIDE A MINIMUM DISTANCE OF SIX (6) INCHES BETWEEN EDGES OF CORE HOLES. CORING THE MANHOLE CONE IS NOT PERMITTED
15. WATER MAIN AND FORCE MAIN PIPE INSTALLED BY OPEN CUT SHALL BE BURIED AT A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF FIVE (5) FEET BELOW FINISHED GRADE. DEPTHS GREATER THAN FIVE (5) FEET MUST BE APPROVED BY CPFAU.
16. MANHOLE AND FORCE MAINS SHALL BE DESIGNED TO BE INSTALLED AT A MINIMUM OF CROWN TO CROWN OF THE LARGEST DIAMETER PIPE.

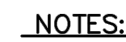
DETAIL: <b>STANDARD NOTES</b> (REQUIRED ON ALL PLAN AND PROFILE SHEETS)		 <p>CAPE FEAR PUBLIC UTILITY AUTHORITY          235 GOVERNMENT CENTER DRIVE          WILMINGTON, NC 28403          OFFICE: (910)332-6560</p>	DETAIL NO: <b>WS-14</b>
SCALE: <b>NOT TO SCALE</b>	CFPUA DETAIL DATE: 01/01/20		SHEET NO: <b>-</b>
CFPUA REV. NO: 2		Stewardship. Sustainability. Service.	



- FOR MANHOLES UP TO 12 FEET IN DEPTH MINIMUM BARREL DIAMETER SHALL BE 4 FEET. MANHES GREATER THAN 12 FEET IN DEPTH SHALL BE A MINIMUM OF 5 FEET IN DIAMETER.
- PROVIDE A MINIMUM DISTANCE OF SIX (6) INCHES BETWEEN EDGE OF MANHOLE CORE HOLES AND MANHOLE BARREL JOINTS. PROVIDE A MINIMUM OF SIX (6) INCHES BETWEEN EDGES OF CORE HOLES. CORING THE MANHOLE CONE IS NOT ALLOWED.
- ALL MANHOLE MAIN LINE AND SERVICE PIPING TO BE INSTALLED AT A MINIMUM OF CROWN TO CROWN OF THE LARGEST DIAMETER PIPE.

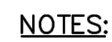
FOR LESS THAN 30" INSIDE DROP

DETAIL: <b>PRECAST CONCRETE MANHOLE SECTION - ECCENTRIC CONE</b>		 <b>CAPE FEAR PUBLIC UTILITY AUTHORITY</b> 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship, Sustainability, Service.	DETAIL NO.: <b>S-1</b>
SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/20		SHEET NO.: -
CFPUA REV. NO.: 2			



1. SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR, OR MUST ORIGINATE IN END OF LINE MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
2. ALL SERVICES CONNECTING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF DIP, WITH PROTECTIVE LINING.
3. CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS.
4. FOR PRIVATE 8" SERVICES, MANHOLES ARE REQUIRED FOR CONNECTION TO MAIN.
5. A MINIMUM PIPING LENGTH OF 1' 6" SHALL BE USED BETWEEN FITTINGS.

DETAIL: <div style="text-align: center;"><b>SEWER SERVICE CONNECTION - SHORT-SIDE</b></div>	 <div style="margin-top: 10px;"> <b>CAPE FEAR PUBLIC UTILITY AUTHORITY</b>            235 GOVERNMENT CENTER DRIVE            WILMINGTON, NC 28403            OFFICE: (910) 332-6500         </div>	DETAIL NO: <div style="text-align: center; font-size: 1.5em;"><b>S-9</b></div>
SCALE: NOT TO SCALE	CFPUA DETAIL DATE: <div style="text-align: center;">01/01/20</div>	SHEET NO: <div style="text-align: center;">-</div>
CFPUA REV. NO:     2		



1. FOR PRIVATE 8" SERVICES, MANHOLES ARE REQUIRED FOR CONNECTION TO SYSTEM AND AT THE PROPERTY LINE, WITH REQUIRED EASEMENT.
2. CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS.

DETAIL: <b>SEWER SERVICE CONNECTION - TYPICAL CLEAN-OUT</b>		 <b>CAPE FEAR PUBLIC UTILITY AUTHORITY</b> 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6500 Stewardship. Sustainability. Service.	DETAIL NO: <b>S-13</b>
SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/20		SHEET NO: -
CFPUA REV. NO: 2			

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:


**CLIENT INFORMATION:**

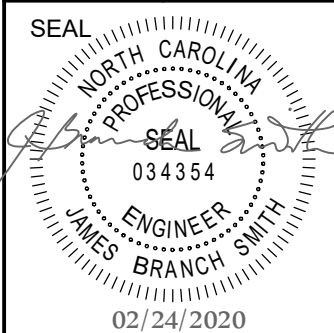
# PARAMOUNT

122 Cinema Drive  
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(910) 791-6707 (O) (910) 791-6760 (F)  
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CFPUA DETAILS

CROSSROADS INFINITI  
5730 & 5740 MARKET STREET  
WILMINGTON, NORTH CAROLINA

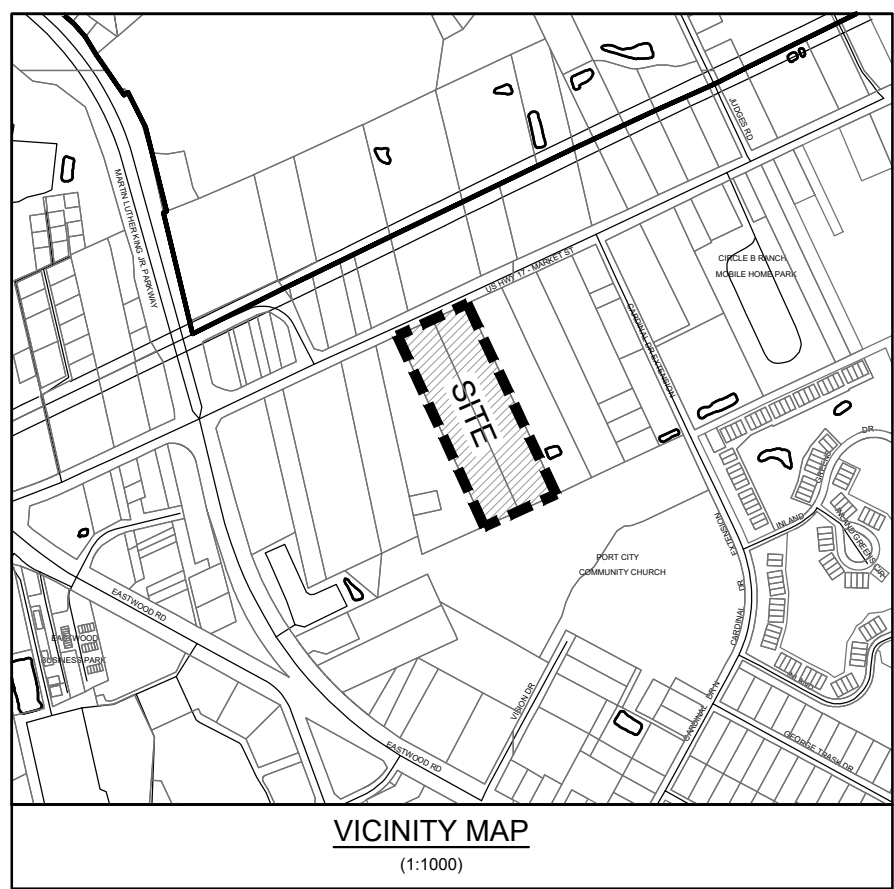
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CONCEPTUAL LAYOUT:	10/01/19
PRELIMINARY LAYOUT:	2/24/20
FINAL DESIGN:	-
RELEASED FOR CONST:	-
<b>DRAWING INFORMATION</b>	
DATE:	02/24/2020
SCALE:	NO SCALE
DESIGNED:	-
DRAWN:	MN
CHECKED:	TC



C-5.4

PEI JOB#: 18458.PE





#### SITE INFORMATION

OWNER INFORMATION:  
(ALL PARCELS PER NHC GIS)

BRINKLEY, ESTON B KATIE  
WILMINGTON, NC

#### PROJECT ADDRESSES:

5730 & 5740 MARKET STREET  
WILMINGTON, NC 28405

#### TAX PARCEL IDENTIFICATION #:

RECORDED DEED BOOK:

CURRENT ZONING:

EXISTING USE:

PROPOSED USE:

#### LANDSCAPE CALCULATIONS:

##### STREET YARD LANDSCAPING - Sec. 18-477

MARKET STREET 308 LF - 12.5' DRIVEWAY = 295.5 LF * 25 = 7,387.5 SF	REQ'D 7,387.5 SF	PROV 7,421.6 SF
7,387.5 SF / 600 SF = 12.3		
1 CANOPY TREE / 600 SF: OR 3 UNDERSTORY TREES / 600 SF 6 SHRUBS / 600 SF	37 74	34 NEW / 3 EXISTING 79

##### PARKING LOT LANDSCAPINGP

Interior Area Landscaping - Sec. 18-481

- 95,523 SF - 20% SHADING  
(28) PROPOSED TREES @ 707 SF EACH = 19,796 SF  
(2) EXISTING TREES @ 354 SF EACH = 707 SF

(SEE PLAN FOR SF OF SHADE ASSIGNED FOR EACH TREE IN PARKING/VEHICULAR AREAS)

##### Parking Area Screening - Sec. 18-483

PARKING AREA SCREENING AT MARKET STREET SHALL BE A MINIMUM OF THREE (3) FEET IN HEIGHT AND FIVE (5) FEET IN WIDTH AND MAY BE INCORPORATED INTO THE STREET YARD, PROVIDED THE STREET YARD IS FIFTEEN (15) OR MORE IN WIDTH

##### PERIMETER LANDSCAPING CALCULATIONS - Sec. 18. 18-482

A LANDSCAPED YARD 10 FEET IN WIDTH SHALL BE REQUIRED ALONG ANY SIDE OF A PARKING LOT ABUTTING A SEPARATE PARKING LOT, DRIVEWAY OR RESIDENTIALLY ZONED PARKING. PLANTINGS SHALL CONSIST OF (1) TREE EVERY 18" TO 27".

NORTH PROPERTY LINE AT ADJACENT PARKING  
418 LF / 27 = 15.48 TREES REQUIRED  
16 TREES PROVIDED, (4 EXISTING TREES & 12 PROPOSED TREES)

SOUTH PROJECT BOUNDARY LINE AT PROPOSED DRIVEWAY  
(50' ACCESS EASEMENT)  
243 LF / 27 = 9 TREES REQUIRED  
9 TREES PROVIDED

#### PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	MIN. SIZE REQ.
	GIN BIL	40	Ginkgo biloba Maidenhair Tree	2" cal	
	LAG YUM	40	Lagerstroemia x 'Yuma' Crape Myrtle 'Standard'	8" H min.	
	PIN PAL	27	Pinus palustris Longleaf Pine	2" cal	
	LO	27	Quercus virginiana Southern Live Oak	2" cal	
PALM TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	MIN. SIZE REQ.
	SAB PAL	3	Sabal palmetto Cabbage Palmetto	Existing	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	MIN. REQ.
	BM	118	Buxus m. 'Wintergreen' Wintergreen Boxwood	7 gal	
	ILE VOM	79	Ilex vomitoria 'Nana' Dwarf Yaupon	7 gal	36" O.C.
	LJ2	104	Ligustrum j. 'Recurvifolium' Wax leaf Ligustrum	3" HT min.	48" O.C.
	MC6	50	Myrica cerifera Wax Myrtle	3" Ht. min.	
	PM6	9	Podocarpus m. maki Shrubby Yew Podocarpus	8" H	
	RX4	203	Rosa x 'Meigalpio' Red Drift Rose	3 gal	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
	TA	233	Trachelospermum a. 'Asiatic' Asiatic Jasmine	4" pot	18" o.c.

#### REQUIRED TREE MITIGATION

ALL TREES PROVIDED FOR TREE REMOVAL MITIGATION ARE IDENTIFIED ON THE PLANS WITH AN ASTERISKS SYMBOL, (48 TREES TOTAL) - SEE SHEET L-1.0 FOR CALCULATIONS  
BUFFER YARD TREE SYMBOL = \*

#### FOUNDATION PLANTING REQUIREMENTS

CALCULATIONS PER EACH SIDE OF BUILDING:  
NORTH: 162 LF x 25.3' = 4,098 \* 0.12 = 492 SF

SOUTH: 150 LF X 25.3' = 3,795 \* 0.12 = 456 SF

EAST: 73 LF X 25.3' = 1,847 \* 0.12 = 222 SF

WEST: 77 LF X 25.3' = 1,948 \* 0.12 = 234 SF

REQ'D

PROV

492 SF

494 SF

456 SF

536 SF

222 SF

230 SF

234 SF

234 SF

#### UNDERGROUND INFRASTRUCTURE NOTES

GENERAL LOCATIONS AND SIZES OF WATER, SEWER, STORM DRAIN LINES, FIRE HYDRANTS AND SEWER LINES ARE SHOWN ON THE PLAN

#### LEGEND:

PROPOSED TREE PROTECTION FENCE (SEE DETAIL, SHEET C-2.1)

PROPOSED STREETYARD BUFFER

PROPOSED REAR YARD LANDSCAPE BUFFER (SEE PLAN FOR DIMENSIONS)

EXISTING TREES TO REMAIN (SYMBOLS VARY BY SPECIES, SEE TREE REMOVAL & PROTECTION PLAN, SHEET L-2.0)

SF OF SHADE PROVIDED PER TREE AT PARKING FACILITY

SF OF PLANTER AREA IN PARKING FACILITY

#### SIGHT DISTANCE TRIANGLE NOTES

1. ALL PROPOSED VEGETATION WITHIN SIGHT DISTANCE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30" TO 10' (SEC. 18-556 CITY OF WILMINGTON LAND DEVELOPMENT CODE).

EXISTING TREE/VEGETATION LINE - VARIOUS SIZES PINES AND EVERGREEN SHRUBS TO REMAIN TO SERVE AS PROJECT BUFFER - ADDITIONAL PLANT MATERIAL TO BE PROVIDED TO MEET THE MINIMUM SCREENING REQUIREMENTS

#### SOLID WASTE NOTE:

SOLID WASTE WILL BE HANDLED BY DUMPSTER SERVICES, THE PROPOSED CONCRETE DUMPSTER PAD WITH WILL HAVE A COMBINATION OF SOLID WOOD FENCING & VEGETATIVE SCREENING TO 8' TALL AS REQUIRED PER SEC. 18-504 (SEE LANDSCAPE PLANS)

TREE PROTECTION FENCING (TYP)

MATCHLINE SEE SHEET L-2.1

EXISTING (3) PALM TO TREES LOCATED INSIDE THE REQUIRED STREET YARD TO REMAIN PER CITY REQUIREMENTS

U.S. HIGHWAY 17 N.  
100' R/W (PUBLIC)  
N 64°30'26" E 401.40' (TOTAL)

20'x70' SITE TRIANGLE (TYP., BOTH SIDES OF DRIVEWAY)

#### LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- TREES SHALL LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
- ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- NO TREE, OTHER THAN THOSE SHOWN ON APPROVED PLANS FOR REMOVAL WITH THESE PLANS AND/OR TREE REMOVAL PERMIT PLANS, SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING TURF AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
- ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. SINGLE TREES SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 5 FEET DIAMETER.
- PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
- THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL PREPARE ALL SEEDED OR SODDED AREAS TO ASSURE THAT

THE SUBGRADE HAS BEEN RAKED AND ROLLED TO ACCEPT THE SOD/SEED. ALL SOD/SEED AREAS MUST BE IRRIGATED OR HAND WATERED. ALL SOD SHALL BE PLACED WITH STAGGERED JOINTS AND NO GAPS BETWEEN SOD JOINTS. SOD SHOULD BE ROLLED AFTER INSTALLATION. ALL SEEDED AND/OR SODDED AREAS SHOULD PROVIDE A SMOOTH SURFACE FREE OF DIPS AND UNLEVELLED GROUND.

- IRRIGATION SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6 MONTHS FROM THE ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE IF IRRIGATION HAS NOT BEEN INSTALLED AT THE TIME OF SUBSTANTIAL COMPLETION. ALL MATERIAL INCLUDING SOD AND SEEDED AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE SURVIVAL OF PLANTS.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL DISTURBED AREAS NOT DESIGNATED FOR SOD SHALL BE SEEDDED.
- ALL VEGETATION PROPOSED WITHIN SIGHT DISTANCE AREAS SHALL NOT INTERFERE WITH SIGHT DISTANCE FROM 30' TO 10'.
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.

#### BUFFER YARDS - Sec. 18. 18-503

EXISTING VEGETATION AT REAR OF PROJECT BOUNDARY AT THE EASTERN EDGE OF THE PROPOSED IMPROVEMENTS TO REMAIN TO THE MAXIMUM EXTENT POSSIBLE AND SERVE AS REQUIRED BUFFER YARD PLANTING AND SCREENING BETWEEN THE PROPOSED PROJECT AND THE ADJACENT RESIDENTIAL PROPERTIES. ADDITIONAL PLANTING SHALL BE PROVIDED AS NEEDED TO MEET THE CITY'S MINIMUM SCREENING (OPACITY) REQUIREMENTS (SEE PLAN).

SHRUBS SHALL BE INSTALLED AT A MINIMUM OF 3' HIGH AT PLANTING.

TREES SHALL BE PROVIDED AT (1) PER 30' OF LINEAR SCREEN, AS FOLLOWS:

LENGTH 1 131 LF / 30 = 4.3 TREES REQUIRED / 5 EXISTING TREES PROVIDED  
LENGTH 2 250 LF / 30 = 8.3 TREES REQUIRED / 6 EXISTING & 2 NEW TREES PROVIDED  
LENGTH 3 118 LF / 30 = 3.9 TREES REQUIRED / 3 EXISTING & 1 NEW TREE PROVIDED  
LENGTH 4 69 LF / 30 = 2.3 TREES REQUIRED / 2 EXISTING TREES PROVIDED  
TOTAL LF OF BUFFER = 568 / 30 = 18.9 TREES REQUIRED / 19 TREES PROVIDED

ADDITIONAL VEGETATION SHALL BE INSTALLED AS REQUIRED TO MEET THE BUFFER YARD REQUIREMENTS WHERE EXISTING VEGETATION DOES NOT PROVIDE REQUIRED SCREENING. BUFFER YARDS SHALL PROVIDE 'OPAQUE SCREENS' WITH 100% OPACITY FROM THE GROUND TO A HEIGHT OF 6' WITH INTERMITTENT OBSTRUCTIONS FROM 6' TO 20' WITHIN 3 YEARS.

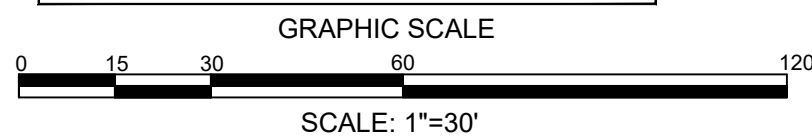
IMPERVIOUS AREA WITHIN STREETYARD - Sec. 18. 18-477(B)(4) & 18-481(C)  
NO MORE THAN FIFTEEN (15) PERCENT OF THE REQUIRED STREET YARD SHALL BE COVERED WITH AN IMPERVIOUS SURFACE.

PEDESTRIAN SIDEWALK IN STREET YARD = 130 SF (0.68% OF REQUIRED STREET YARD)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of Wilmington  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:

CROSSROADS HOLDINGS, LLC  
1730 Graham Ave  
Henderson, NC 27536

PARAMOUNT ENGINEERING, INC.  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License # C-2846

LANDSCAPE PLAN

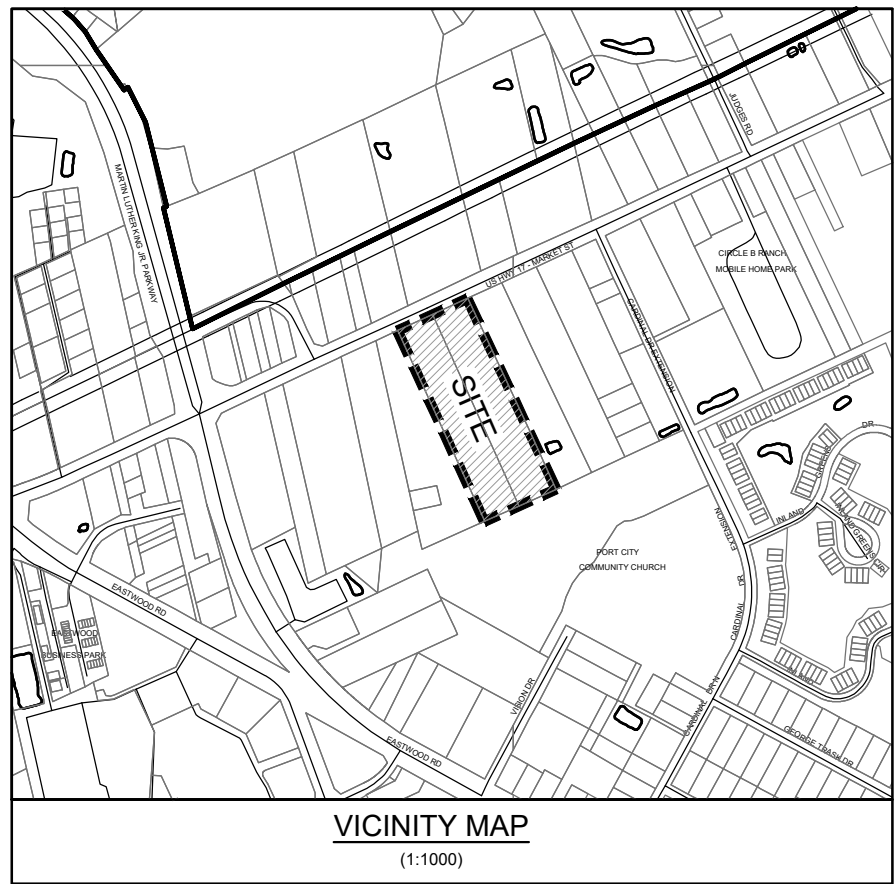
CROSSROADS INFINITI  
5730 & 5740 MARKET STREET  
WILMINGTON, NORTH CAROLINA

PROJECT STATUS  
DESIGN: PRELIMINARY LAYOUT  
FINAL DESIGN  
RELEASED FOR CONSTRUCTION  
10/11/22  
22/4/20

DRAWING INFORMATION  
DATE: 02/24/2020  
SCALE: 1"=30'  
DRAWN: JAMES BRIDGES  
CHECKED: JAMES BRIDGES

SEAL  
JAMES BRIDGES  
PROFESSIONAL ENGINEER  
034354  
02/24/2020

L-2.0  
PEI JOB#: 18458.PE



**SITE INFORMATION**  
OWNER INFORMATION:  
(ALL PARCELS PER NHC GIS)

PROJECT ADDRESSES:

TAX PARCEL IDENTIFICATION #:  
RECORDED DEED BOOK:  
CURRENT ZONING:  
EXISTING USE:  
PROPOSED USE:

BRINKLEY, ESTON B KATIE  
WILMINGTON, NC

5730 & 5740 MARKET STREET  
WILMINGTON, NC 28405

R05009-005-007-000 & R05009-005-003-000  
BK 334 PG 179 & BK 334 PG 179  
RB - REGIONAL BUSINESS (BOTH PARCELS)  
COMMERCIAL (BOTH PARCELS)  
AUTOMOBILE SALES / SERVICE

EXISTING TREE/VEGETATION LINE - VARIOUS SIZES  
PINES AND EVERGREEN SHRUBS TO REMAIN  
TO SERVE AS PROJECT BUFFER - ADDITIONAL  
PLANT MATERIAL TO BE PROVIDED TO MEET THE  
MINIMUM SCREENING REQUIREMENTS

EXISTING DITCH TO REMAIN

PROVIDE ADDITIONAL PLANTINGS AS REQUIRED TO MEET  
CITY STANDARDS FOR OPACITY / COVERAGE  
(SEE NOTES, SHEET L-2.0)

20' LANDSCAPE BUFFER  
PROVIDE ADDITIONAL PLANTINGS AS REQUIRED TO MEET  
CITY STANDARDS FOR OPACITY / COVERAGE  
(SEE NOTES, SHEET L-2.0)

PAR#R05009-005-002-00  
MITCHELL FAMILY LLC  
DB 4799, PG 322  
ZONED-RB-REGIONAL BUSINESS  
USE: COMMERCIAL

LEGEND:

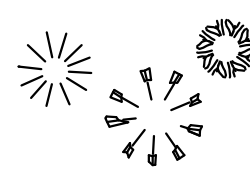


PROPOSED TREE PROTECTION FENCE  
(SEE DETAIL, SHEET C-2.1)

PROPOSED STREETYARD BUFFER



PROPOSED REAR YARD  
LANDSCAPE BUFFER  
(SEE PLAN FOR DIMENSIONS)

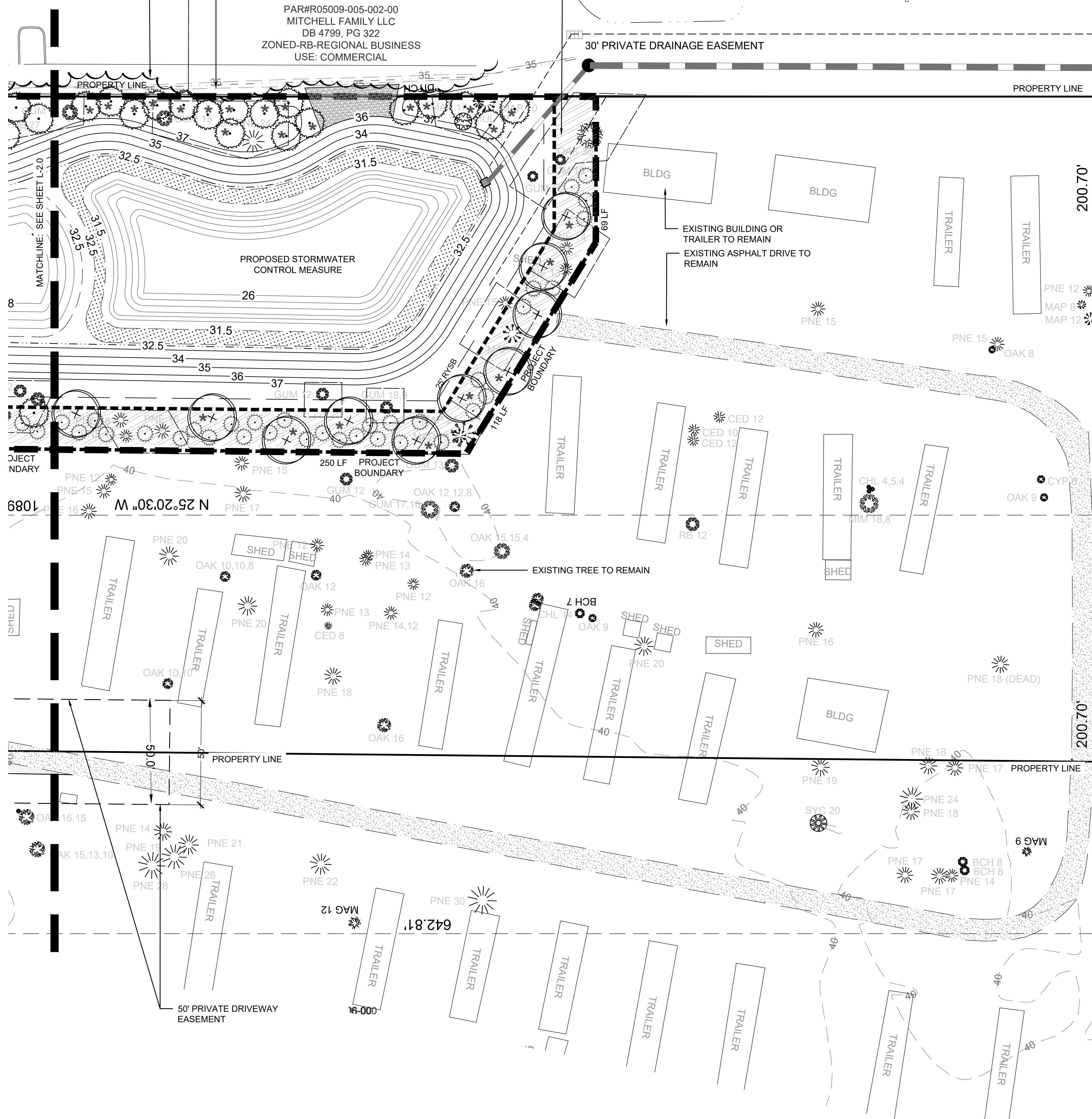


EXISTING TREES TO REMAIN  
(SYMBOLS VARY BY SPECIES,  
SEE TREE REMOVAL & PROTECTION  
PLAN, SHEET L-2.0)

SF OF SHADE PROVIDED PER TREE  
AT PARKING FACILITY

SF OF PLANTER AREA IN PARKING  
FACILITY

PROPOSED STORMWATER  
OUTFALL AT EXISTING DITCH



PID: R05000-002-004-000  
PORT CITY COMMUNITY CHURCH  
DB 5659, PG 68  
ZONED-R-10  
USE: CHURCH

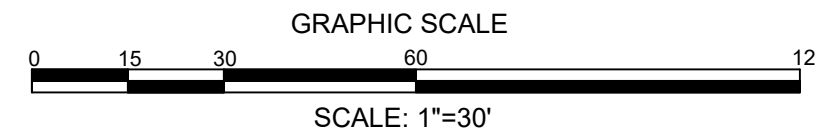
PID: R05000-002-004-000  
PORT CITY COMMUNITY CHURCH  
DB 5659, PG 68  
ZONED-R-10  
USE: CHURCH

Approved Construction Plan	
Name	Date
Planning	
Traffic	
Fire	

NCDENR PWSS WATER PERMIT #:  
WATER CAPACITY: \_\_\_\_\_ GPD  
DWQ SEWER PERMIT #:  
SEWER CAPACITY: \_\_\_\_\_ GPD  
SEWER SHED # AND PLANT:  
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of  
City streets, a \$325 permit  
shall be required from the  
City prior to occupancy  
and/or project acceptance.

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:	
CLIENT INFORMATION:	
CROSSROADS HOLDINGS, LLC 1730 Graham Ave Henderson, NC 27536	
PARAMOUNT ENGINEERING, INC. 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846	
LANDSCAPE PLAN CROSSROADS INFINITI 5730 & 5740 MARKET STREET WILMINGTON, NORTH CAROLINA	
PROJECT STATUS: DESIGNED BY: 100119 PRELIMINARY LAYOUT: 22/4/20 FINAL DESIGN: 02/24/2020 RELEASED FOR CONSTRUCTION: 11"=30'	DRAWING INFORMATION: DATE: 02/24/2020 SCALE: 11"=30' DRAWN: JAMES CHECKED: JAMES
SEAL JAMES ENGINEER 034354 02/24/2020	
L-2.1	
PEI JOB#: 18458.PE	